

Planning
Committee



GREATER CAMBRIDGE
SHARED PLANNING

MAJOR APPLICATIONS

23/04686/FUL

**Demolition of the existing buildings, garages
and hardstanding and the erection of 84
residential units, car parking, landscaping and
associated works**

12 - 34 Fanshawe Road

Recreation Ground

Existing Site

Coleridge Recreation Ground

Allotments

Communal Gardens and Protected open Space

Access to Recreation ground

Hard-standing washing drying area

Existing Garages on Site

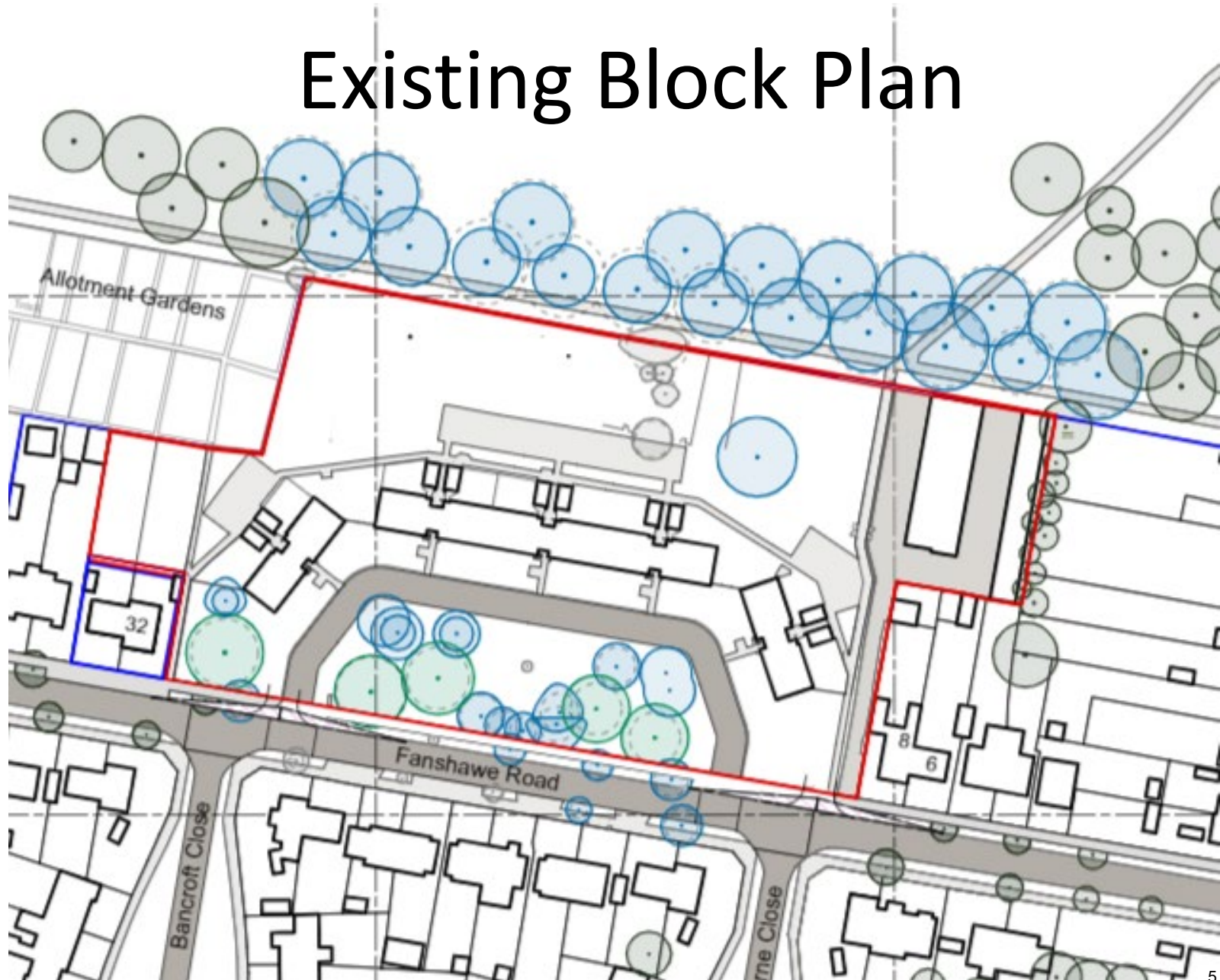
Existing 3 Storey apartments

Sub station

Protected Open Space



Existing Block Plan



Mole

Site & Context

2.5 Existing Buildings

The existing 30 apartments have been determined to no longer meet the requirements of the residents, fall below current space standards, have very low thermal efficiency, and are in poor condition, with structural issues.

The site also contains low-quality and under-utilised green spaces and parking areas, and garages.



1. Existing 3 storey flats on site



2. Existing garages on site



3. Existing Sub Station on perimeter of site



4. View of site from the centre of Coleridge Park



5. View from Bancroft Close



6. Looking west down Fanshawe Road



7. Looking east down Fanshawe Road

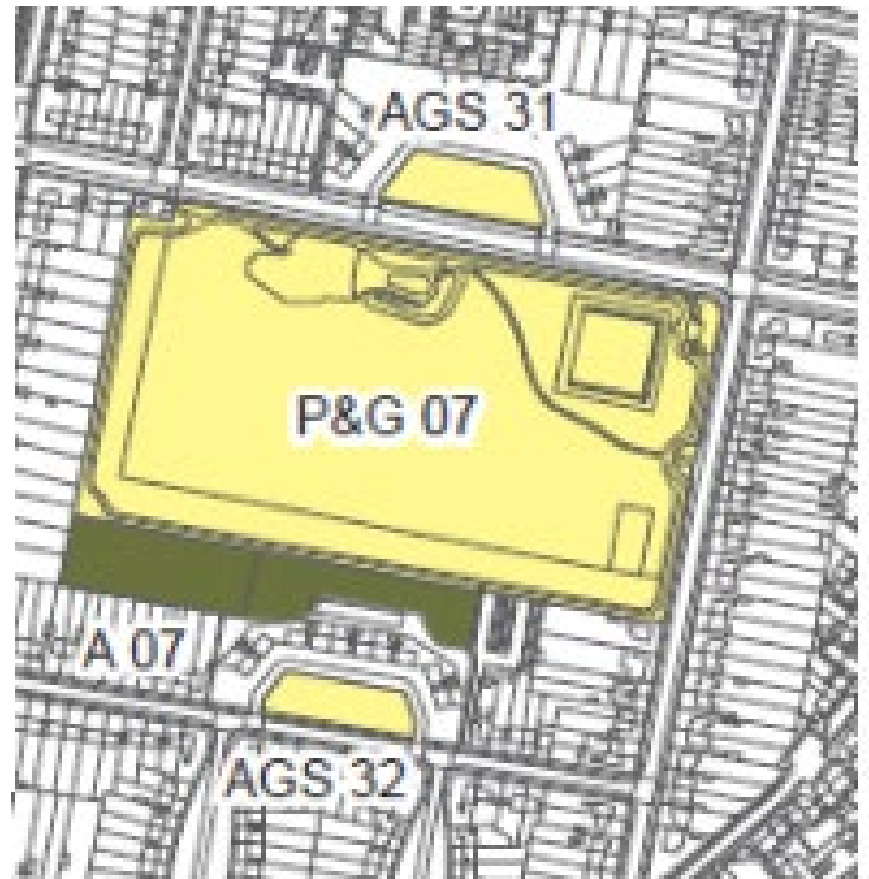


8. View from Coleridge Recreation Ground

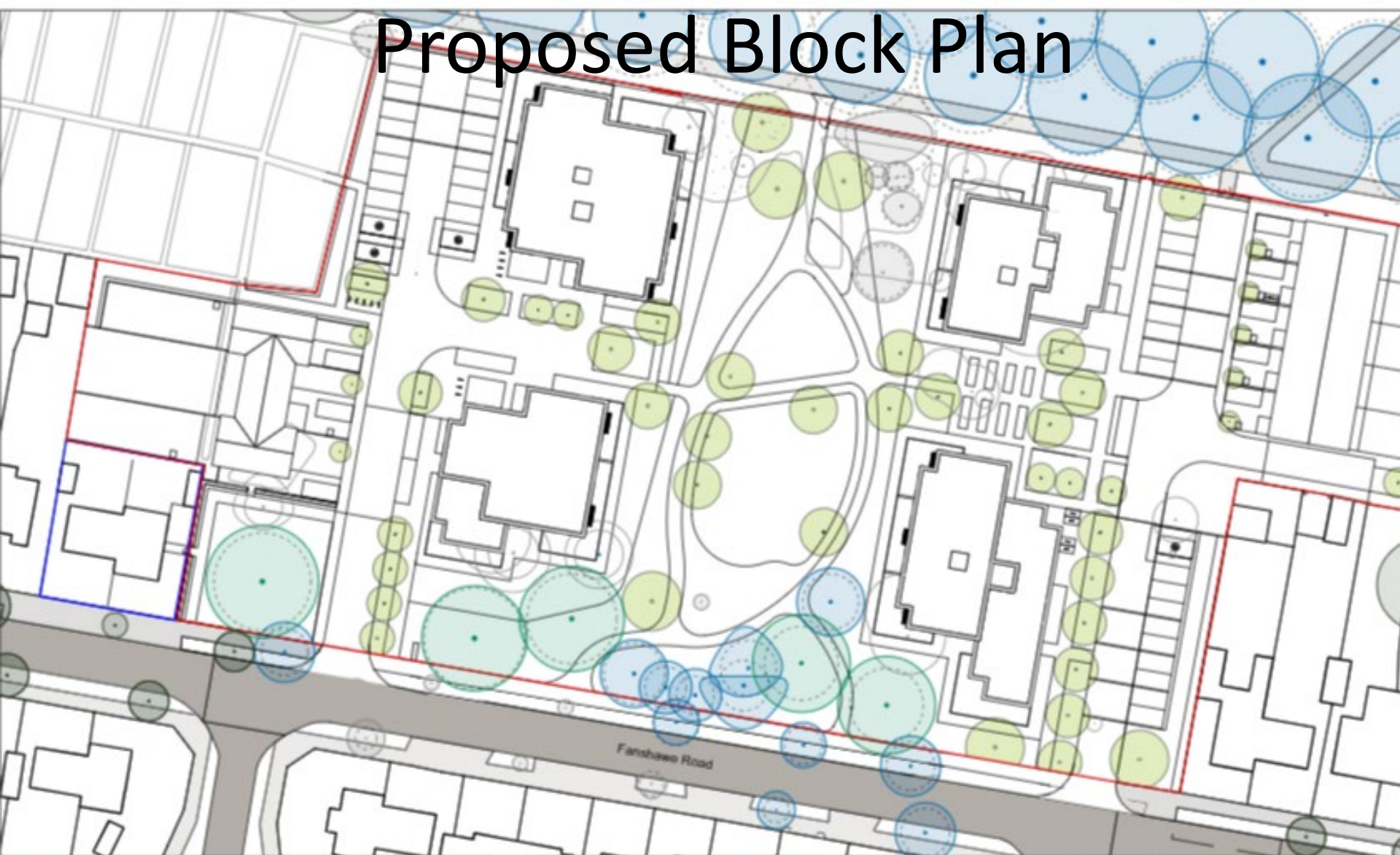
Protected Open Space



Local Plan Proposal Map extract 2018



Proposed Block Plan



	EXISTING TREE CAT A		EXISTING TREE TO BE REMOVED
	EXISTING TREE CAT B		UNRESERVED EXISTING TREE
	EXISTING TREE CAT C		PROPOSED TREE



Fanshawe Road Fanshawe Road, Cambridge Cambridge Council/Parish	
Alt No: 2105	
Reg No: P 001	
Title: Proposed Block Plan	
Scale: Planning	8
Scale: 1:500 @ A3	PL1
Date: 07/08/2023	

Mole

MOLE ARCHITECTS
Floor 2, 57 Northgate Street
Cambridge
CB1 2NU

DO NOT SCALE FROM THIS DRAWING OR SITE PLAN. ALWAYS CONSULT WITH THE ARCHITECT OR SURVEYOR FOR ALL DIMENSIONS IN CONSULTATION WITH THE ARCHITECT OR SURVEYOR. REFERENCE ONE Y.



Ground floor



FANSHAW ROAD

LEGEND		160P APARTMENT		BIKE STORE		EXISTING TREE CAT A
		264P APARTMENT		PLANT ROOM		EXISTING TREE CAT B
		360P APARTMENT		UNSUPERVISED EXISTING TREE		EXISTING TREE CAT C
		360P HOUSE		PROPOSED TREE		EXISTING TREE TO BE REMOVED



Fanshawe Road Fanshawe Road, Cambridge Cambridge Road School (Parkside)	
Cell No:	2105
Comp. No:	L 120
Title: Ground Floor Layout Plan	
Stage:	PLANNING
Scale:	1:500 @ A3
Date:	14/07/2023

Mole

Mole Architects
Floor 2, 31 South Street
Cambridge
CB1 1SU

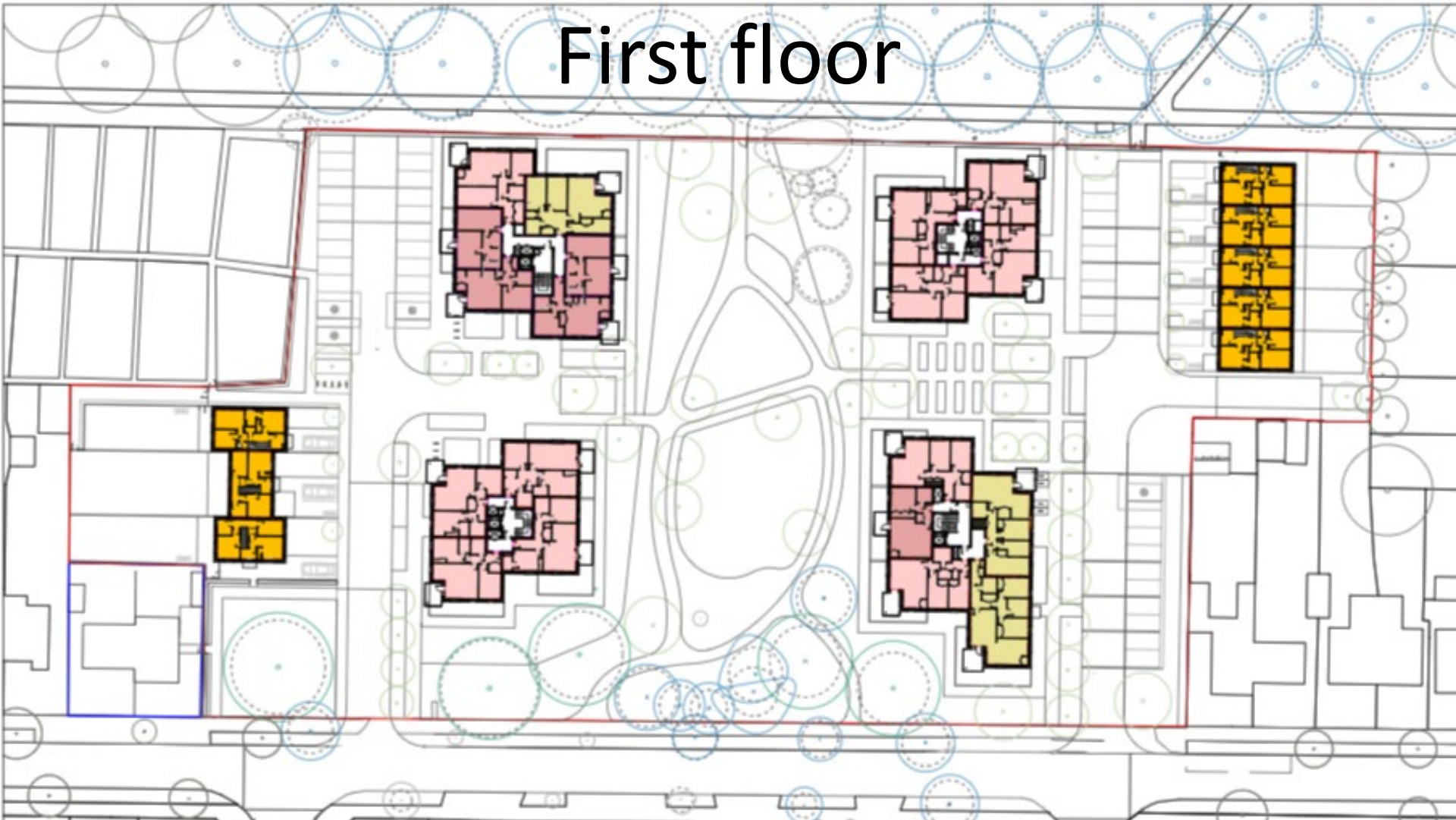
Tel: 01223 915012
www.molearchitects.co.uk

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Rev: **PL4**

PL4	27/10/2023	Client Updates
PL3	18/10/2023	Revision
PL2	27/09/2023	Revision
PL1	04/08/2023	Planning Issue
PL	14/07/2023	First Issue

First floor



- PL 4 21/06/2023 Client Update
- PL 3 16/06/2023 Revision
- PL 2 21/06/2023 Revision
- PL 1 04/06/2023 Planning Issue
- PL 0 14/07/2023 Final Issue

	NEW APARTMENT		ONE STORE		EXISTING TREE CAT A
	NEW APARTMENT		PLANT ROOM		EXISTING TREE CAT B
	NEW HOUSE		UNDESIGNED EXISTING TREE		EXISTING TREE CAT C
	NEW HOUSE		PROPOSED TREE		EXISTING TREE TO BE REMOVED



Fanthorpe Road
Fanthorpe Road, Cambridge
Cambridge Investment Partnership

JOB No. 2105
Reg No. L 121

Title: **First Floor Layout Plan**

Status: **PLANNING**

Scale: 1:500 @ A3

Date: 14.07.23

Mole

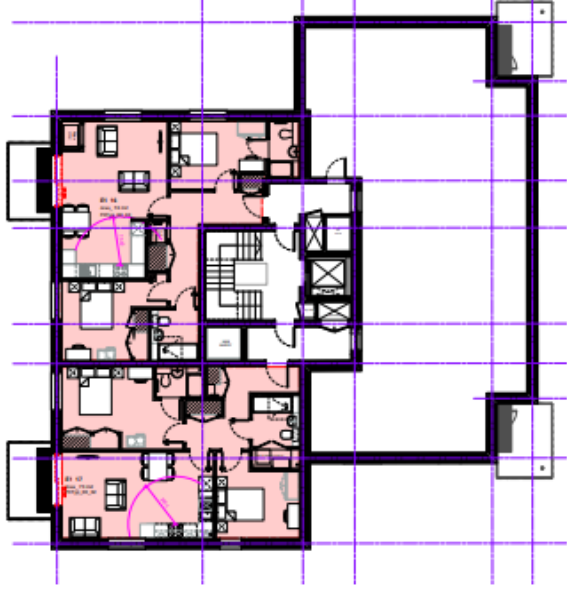
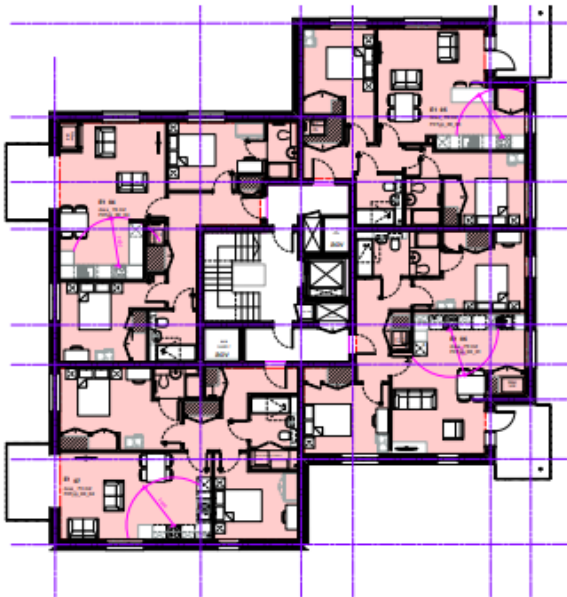
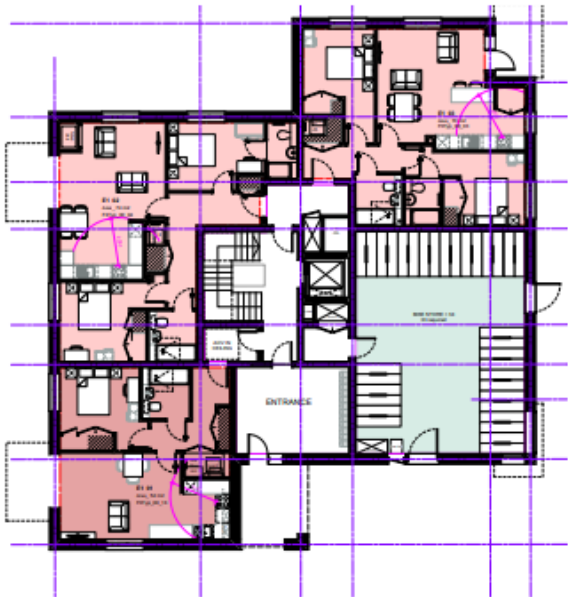
MOLE ARCHITECTS
Floor 2, 20 Northgate Street
Cambridge
CB2 3RQ

Tel: 01223 307070
www.molearchitects.co.uk

DO NOT SCALE FROM THIS DRAWING UNLESS ALL DIMENSIONS ON SITE. CHECKING SHOULD BE READ IN CONJUNCTION WITH INFORMATION FROM ALL OTHERS ON THIS CONSULTATION AND CONSTRUCTION. ALL DRAWINGS IN THIS FORMAT ARE FOR REFERENCE ONLY.

Design Proposal

4.5 Form and Scale : E1



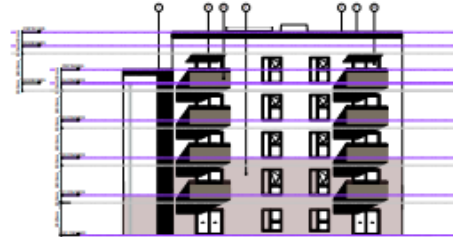
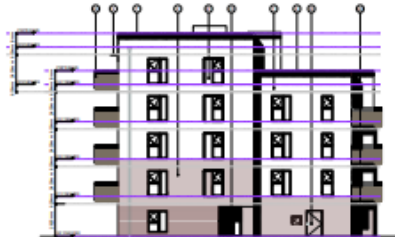
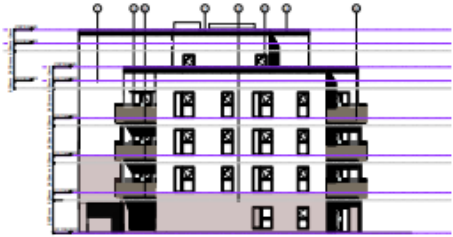
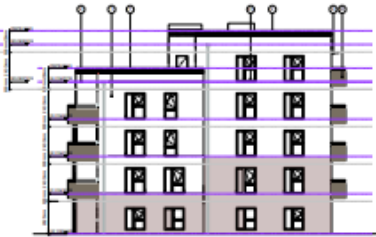
E1 Ground Floor Plan

E1 1st - 3rd Floor Plan

E1 4th Floor Plan

- 1B/2P Apartment
- Bike store
- 2B/4P Apartment

E1's entrance is recessed into the elevation and denoted by a glazed brick recess. The building has two recessed corner balconies to the east elevation to break up the scale of the building as perceived from the new E3 terraced houses. The building steps in height, going from four to five storeys. The five storey elements face the new park side. The height in the building steps with the step in plan.



North Elevation

East Elevation

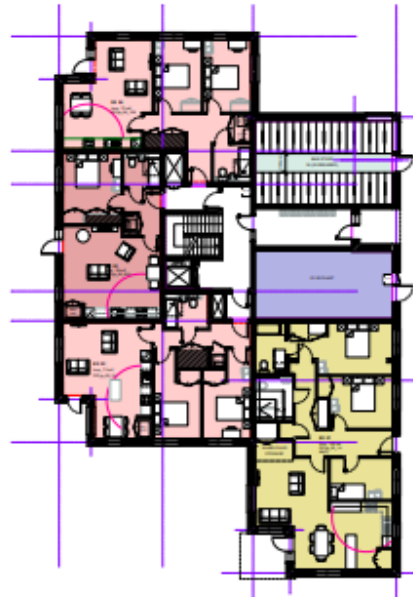
South Elevation

West Elevation

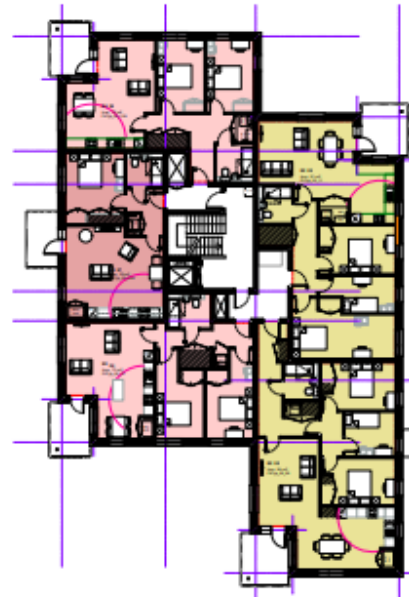
Design Proposal

4.5 Form and Scale : E2

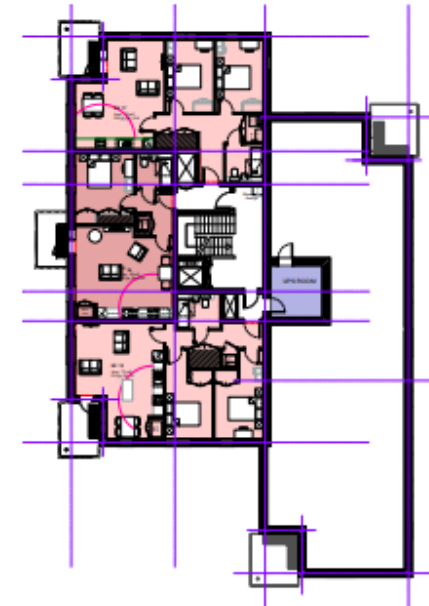
E2's entrance is recessed into the east elevation to activate the new street. The building is three and four storey in height. The building has four recessed corner balconies. The building steps in height to reduce the perceived mass of the building. The building has a four storey elevation to the new green space and three stories on the east side to provide a sensitive scale elevation to the adjacent existing houses.



E2 Ground Floor Plan

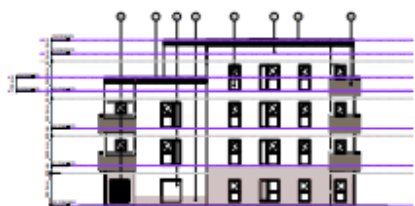


E2 1st - 2nd Floor Plan

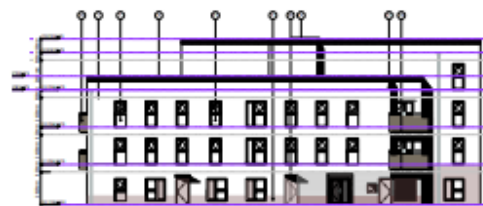


E2 3rd Floor Plan

- 1B/2P Apartment
- 2B/4P Apartment
- 3B/5P Apartment
- Bike store
- Plant



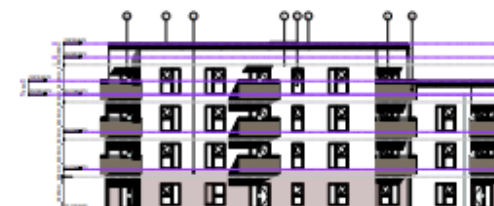
North Elevation



East Elevation



South Elevation



West Elevation

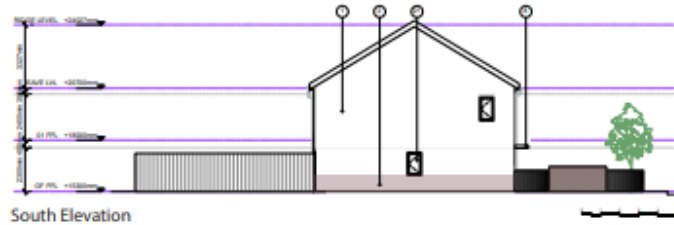
Design Proposal

4.5 Form and Scale : E3

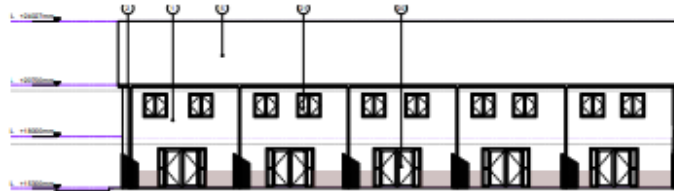
E3 is a row of five terrace homes. The west elevation provides passive overlooking of the recreation ground path. The homes are clad in white brick with a brown brick base. Brown brick banding around entrances denotes the main entrance and adds interest to the elevation. Window and door frames are in a matching red shade.

Bin stores are in timber clad structures to the front of the houses and provide space for covered cycle parking and a green bin. They also provide a location for the EV charging points on the side of the garden store.

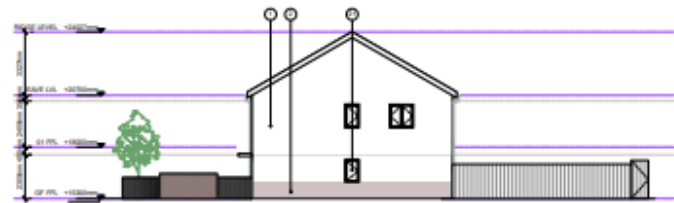
3B/5P House



South Elevation



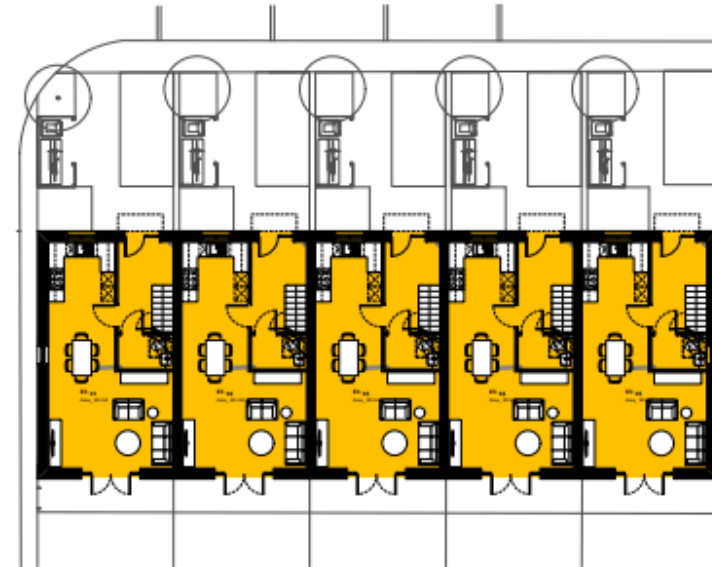
East Elevation



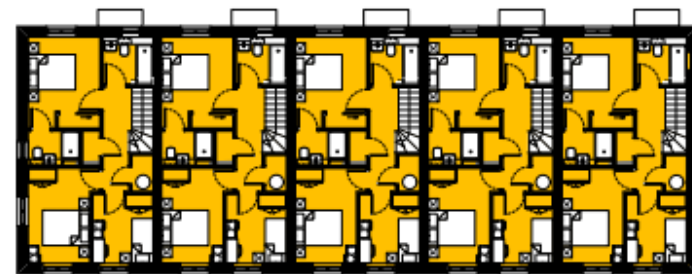
North Elevation



West Elevation



E3 Ground Floor Plan



E3 First Floor Plan

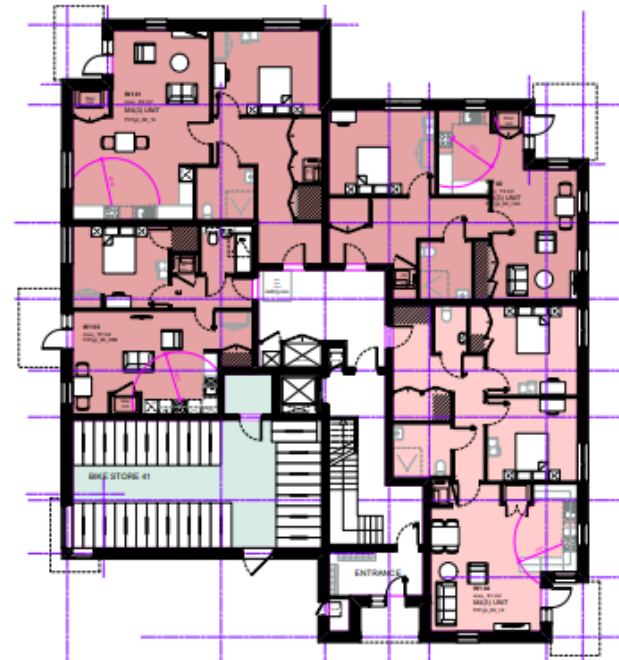
Design Proposal

4.5 Form and Scale : W1

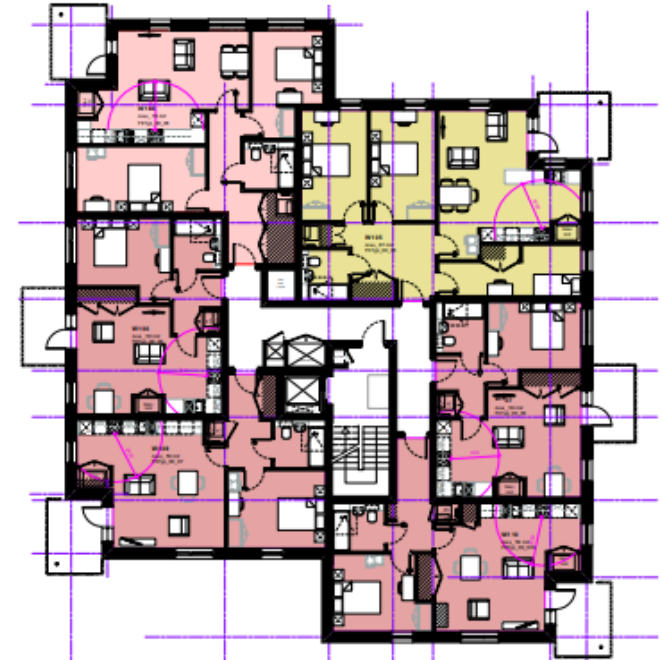
W1 entrance is recessed into the elevation and denoted by glazed brick recess. The building has recessed corner balconies, with the brick walls and balcony finishes all matching and contrasting in red to the main body of the building. A vertical change in the brick colour to the main body of the building creates visual interest and creates a visual break in the height of the building.

Unsupported cantilevered balconies are in a finish matching the corner balconies to create a consistent visual contrast to the main body of the building.

This approach to the external materials is consistent on all four apartment buildings to create a cohesive strategy across the scheme and create a tenure blind scheme.



W1 Ground Floor Plan



W1 1st - 4th Floor Plan



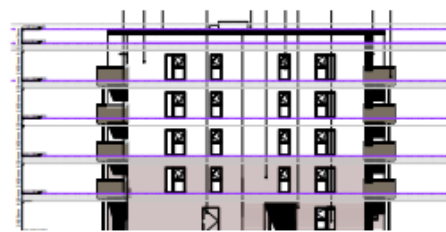
- 1B/2P Apartment
- 2B/4P Apartment
- 3B/5P Apartment
- Bike store
- Plant



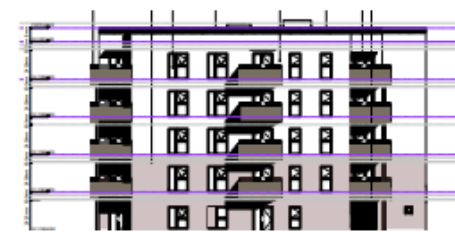
North Elevation



East Elevation

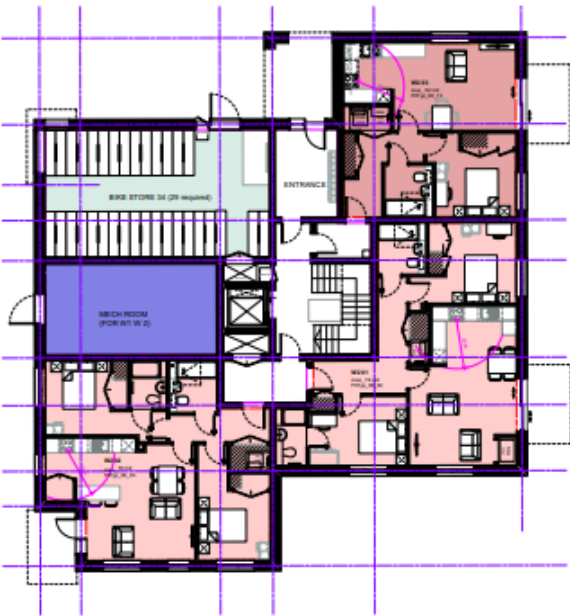


South Elevation

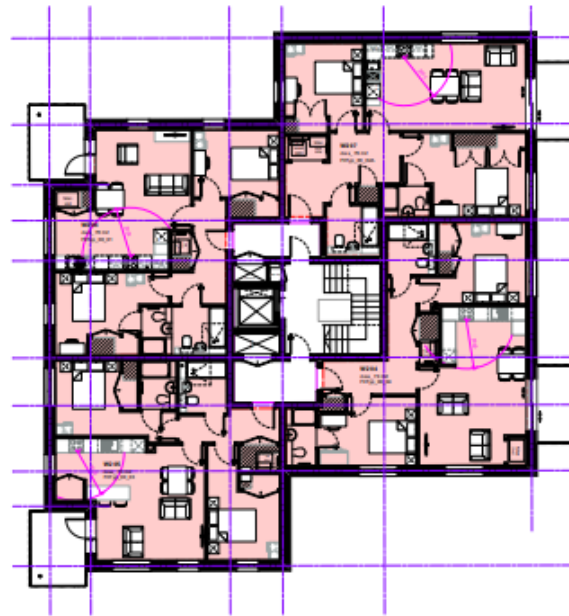


West Elevation

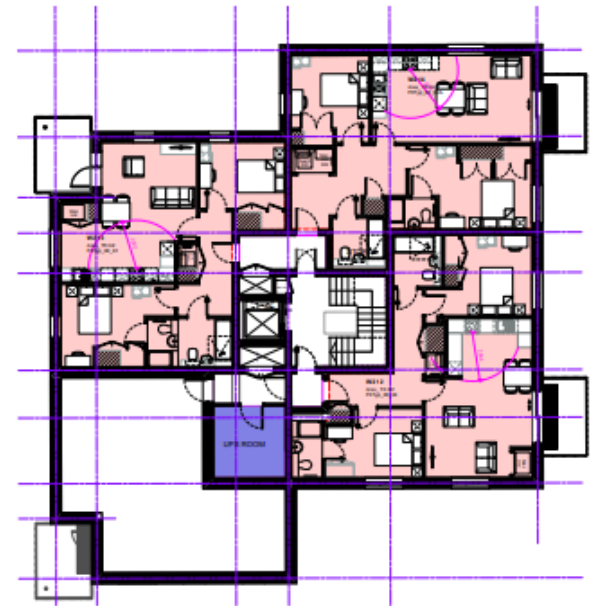
4.5 Form and Scale : W2



W2 Ground Floor Plan



W2 1st - 2nd Floor Plan

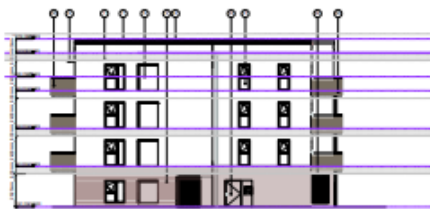


W2 3rd Floor Plan

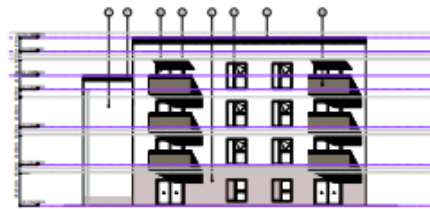


- 1B/2P Apartment
- Bike store
- 2B/4P Apartment
- Plant

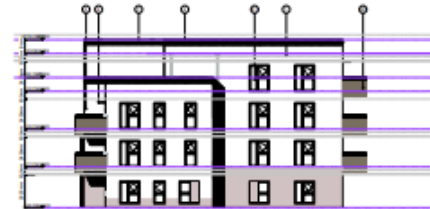
W2's entrance is recessed into the elevation and denoted as a glazed brick recess. The building has two recessed corner balconies to the west elevation to break up the scale of the building. The building steps in height on the west and south elevations which are the most sensitive elevations facing onto the new terraced houses and onto Fanshawe road.



North Elevation



East Elevation



South Elevation



West Elevation

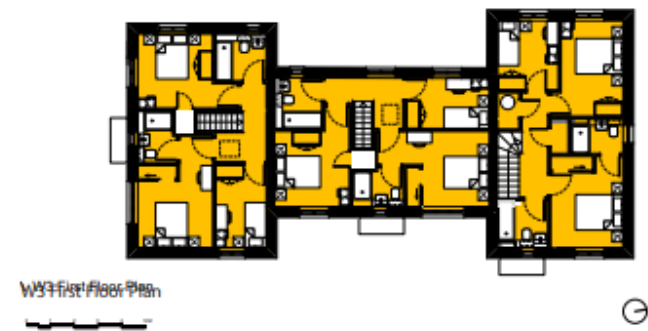
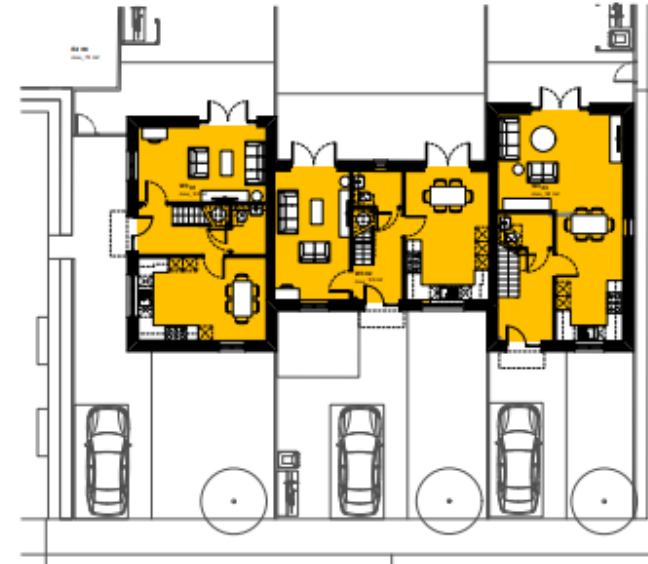
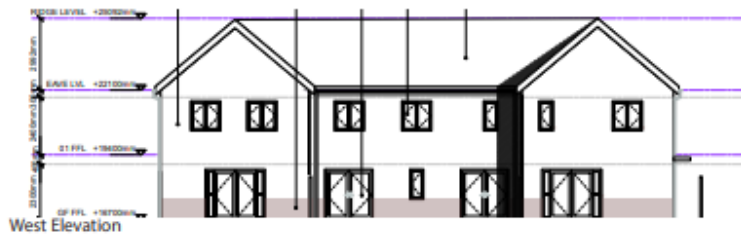
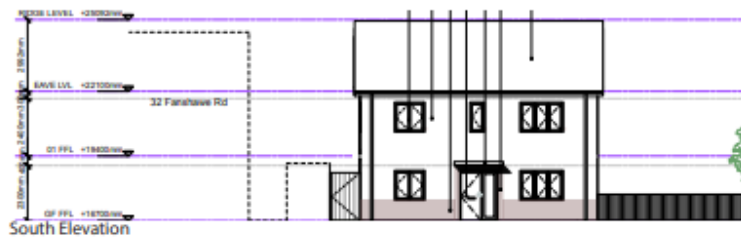
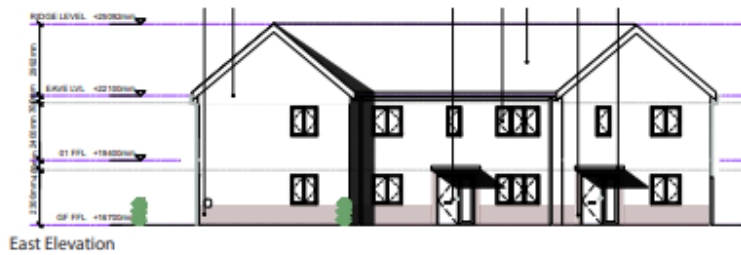
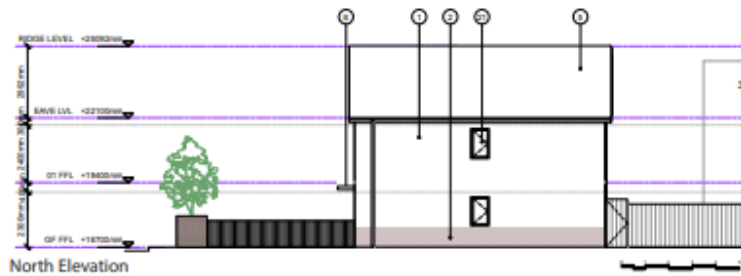
Design Proposal

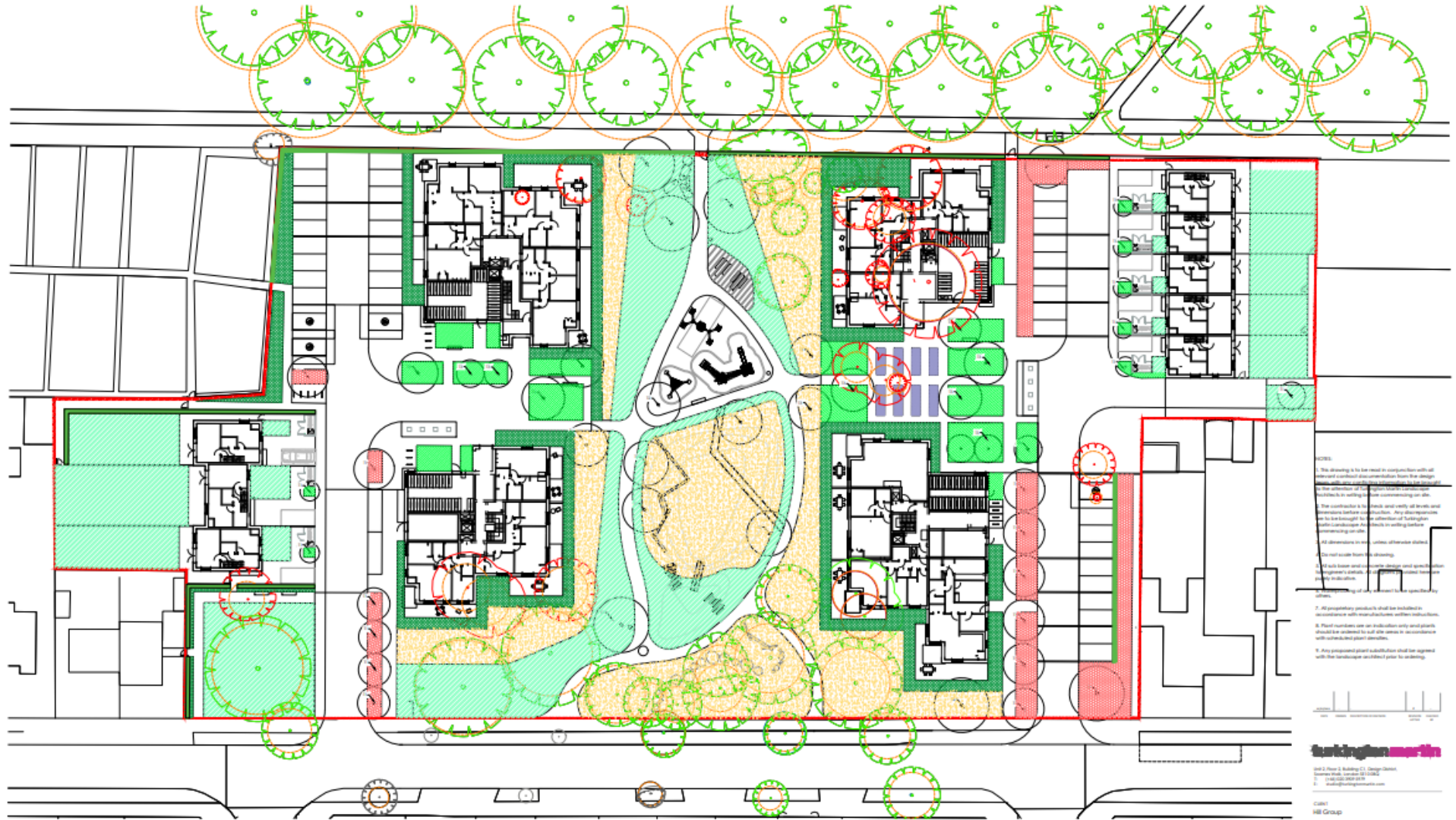
4.5 Form and Scale : W3

W3 is a row of three terraced houses. The gable ends bookend the central house to provide visual interest and provide a front elevations to the east and south. The main body of the building is white brick with a red brick base. Red brick banding around entrances denotes the main entrance and adds interest to the elevation. Window and door frames are in a matching red.

Bin stores are in a matching red brick to the front of the houses and provide space for covered cycle parking and a green bin. They also provide a location for the EV charging points on the side of the garden store.

36/5P House





- KEY**
- Works Boundary
 - Existing trees to be retained
 - Trees to be removed
 - Roof Protection Area

- PLANTING**
- P1 Delphinium planting
 - P2 Wildflower turf
 - P3 Perennial planting
 - P4 Mown grass
 - P5 Food growing plant
 - P6 Rain garden
 - P7 Native hedgerow

- TREES**
- T1 Street tree
 - T2 Feature tree
 - T3 Small tree

NOTES

1. All planting is to be used in conjunction with all other landscaping and site design.

2. All planting is to be installed in accordance with the planting schedule.

3. All planting is to be installed in accordance with the planting schedule.

4. All planting is to be installed in accordance with the planting schedule.

5. All planting is to be installed in accordance with the planting schedule.

6. All planting is to be installed in accordance with the planting schedule.

7. All proprietary products to be installed in accordance with the manufacturer's instructions.

8. Plant numbers are for indication only and plants should be ordered to suit site areas in accordance with relevant plant schedules.

9. Any proposed plant installation shall be agreed with the landscape architect prior to working.

marking martin

Unit 2, Floor 2, Building C1, Orange Grove, Histon Road, Cambridge CB3 0ET
 T: 01223 500959
 E: info@markingmartin.com

Client: Hill Group
 Project: Hill Group
 Site: Forshaw Road Cambridge
 Drawing: PL1
 Planting GA
 Revision: 01/20
 For Planning

DATE: 1/20
 DRAWN: CP
 CHECKED: JMB
 APPROVED: JMB

DRAWING NUMBER: **TM520-LA106**

Design Proposal

4.6 Materiality - Apartments



1:
Parapet Detail.



2:
Balcony railings panel Detail.



3:
Pale white brick with off-white
mortar joints.



4:
Dark brown bricks with white
mortar joints.



5:
Champagne metalwork and vent
panels



6:
Example of protruding brick
banding entrance areas.



Design Proposal

4.6 Materiality - Houses



1:
Grey roof tiles



2:
Example of protruding brick banding entrance areas.



3:
Pale white brick with off-white mortar joints.



4:
Dark brown bricks with white mortar joints.



Design Proposal

4.6 Materiality - Windows and Balconies



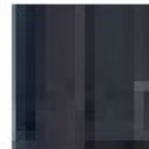
Windows and doors are dark brown/ black. Rainwater goods and parapet trims will be a matching light grey.

Balconies are steelwork structures with metal handrails. Only corner balconies will have circular posts. Circular posts will be same colour as the balconies. Balustrades are metal balustrades with solid panels having a metal powder coat finish panel. This retains a sense of enclosure when one is seated on the balcony.

We propose a sample selection of the colours for windows and rainwater goods.



2. Champaign coloured Windows within darker brick areas & Balcony Metalwork



1. Brown/ black Window frames

Technical Detail

6.1 Accessibility M4(3)

All homes in the proposal are designed to meet Building Regulations AD M4(2) Accessible and Adaptable dwelling standard, which means all homes are accessible to any visitors using wheelchairs.

Four of the homes are designed to meet Building Regulations AD M4(3) Wheelchair use dwelling standard. This means that anyone using a wheelchair is able to live in these flats.

The drawings on the right show how the design of a wheelchair occupied 1B2P flat and a 2B4P flat would meet the M4(3) AD standards such as:

- Minimum corridor widths with minimum clear opening width of doors, including 300mm nibs to leading edges and 200mm to the following edge.

- Clear access zones in each room with furniture as required within AD M4(3) Appendix D.

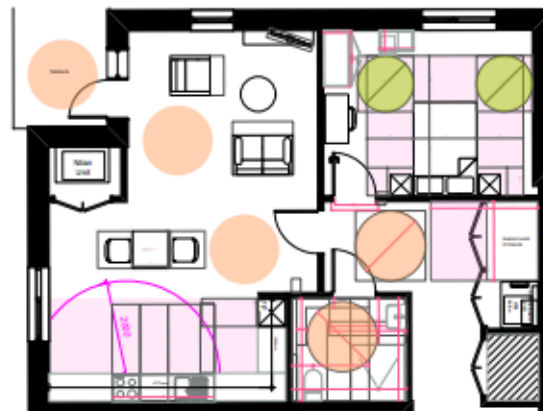
Bathroom size and layout designed as example set within AD M4(3).

- Wheelchair storage in the hallway.





- Wheelchair accessible bathroom and second WC.

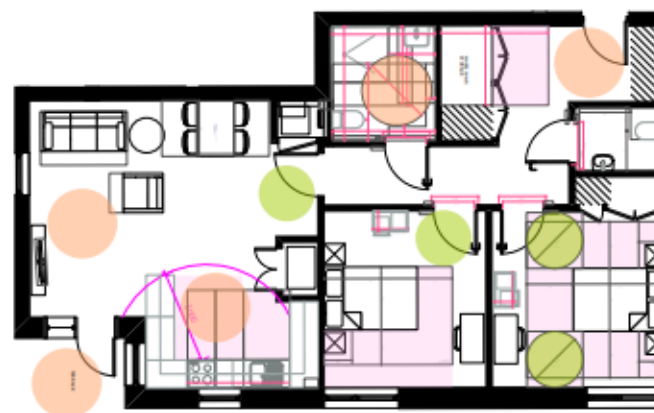
- Storage sizes as per M4(3) Standards and space standards

- Minimum combined floor area for living dining and kitchen space







	GIA (S.M.)	Space (S.M.)
GF	84	2.5
FF	0	0
SF	0	0
TOTAL	84	1.6
NDSS	50	1.5
Part M category:		M4(3)

-  1200 mm turning circle
-  1500 mm turning circle
-  Space requirement clear zone
-  Storage



	GIA (S.M.)	Space (S.M.)
GF	91	2.5
FF	0	0
SF	0	0
TOTAL	91	2.6
NDSS	70	2
Part M category:		M4(3)

-  1200 mm turning circle
-  1500 mm turning circle
-  Space requirement clear zone
-  Storage

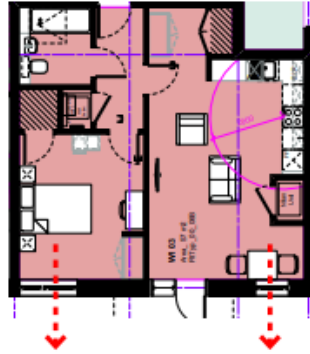
Technical Detail

6.2 Apartment Aspects

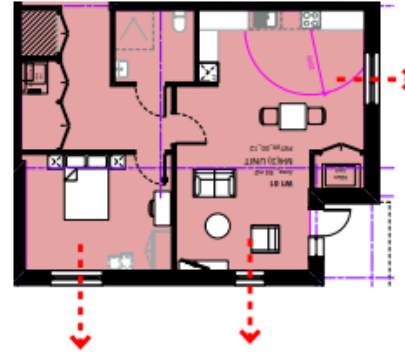
Right is a schedule of the homes on site and a definition of whether they are a single, dual, enhanced dual aspect or triple aspect homes. A dual aspect home is a home that provides openings on two external wall faces. An enhanced dual aspect definition is a home that provides openings on two external wall faces which are opposite each other/ provides through ventilation of spaces.

Overall the scheme has just 13 single aspect homes with 85% of the scheme being dual aspect or better.

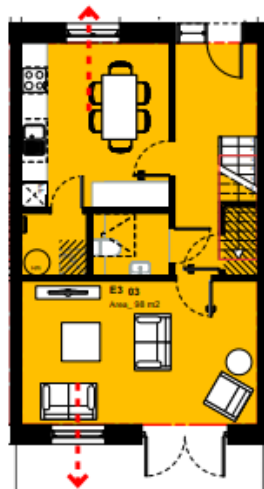
Note plans are not to scale.



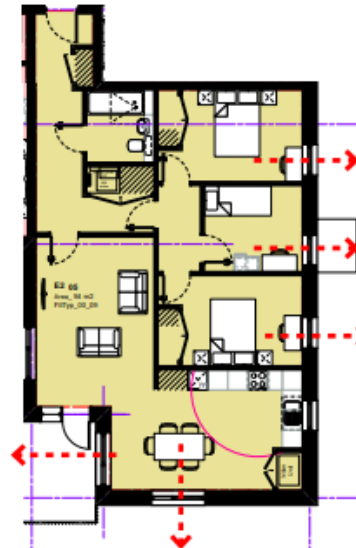
Example of a Single Aspect Apt.



Example of a Dual Aspect Apt.



Example of an enhanced Dual Aspect Home



Example of a triple aspect Apt.

	W1	1B2P	2B4P	3B5P	Total
Single Aspect		9			9
Dual Aspect		10	5	4	19
Enhanced Dual Aspect					0
Triple Aspect					0
Total		19	5	4	28

	W2	1B2P	2B4P	3B5P	Total
Single Aspect					0
Dual Aspect		1	10		11
Enhanced Dual Aspect					0
Triple Aspect			3		3
Total		1	13	0	14

	W3	1B2P	2B4P	3B5P	Total
Single Aspect					0
Dual Aspect					0
Enhanced Dual Aspect				1	1
Triple Aspect			2		2
Total		0	0	3	3

	E1	1B2P	2B4P	3B5P	Total
Single Aspect					0
Dual Aspect		1	12		13
Enhanced Dual Aspect					0
Triple Aspect			4		4
Total		1	16	0	17

	E2	1B2P	2B4P	3B5P	Total
Single Aspect		4			4
Dual Aspect			4	2	6
Enhanced Dual Aspect					0
Triple Aspect			4	3	7
Total		4	8	5	17

	E3	1B2P	2B4P	3B5P	Total
Single Aspect					0
Dual Aspect					0
Enhanced Dual Aspect			3		3
Triple Aspect			2		2
Total		0	0	5	5

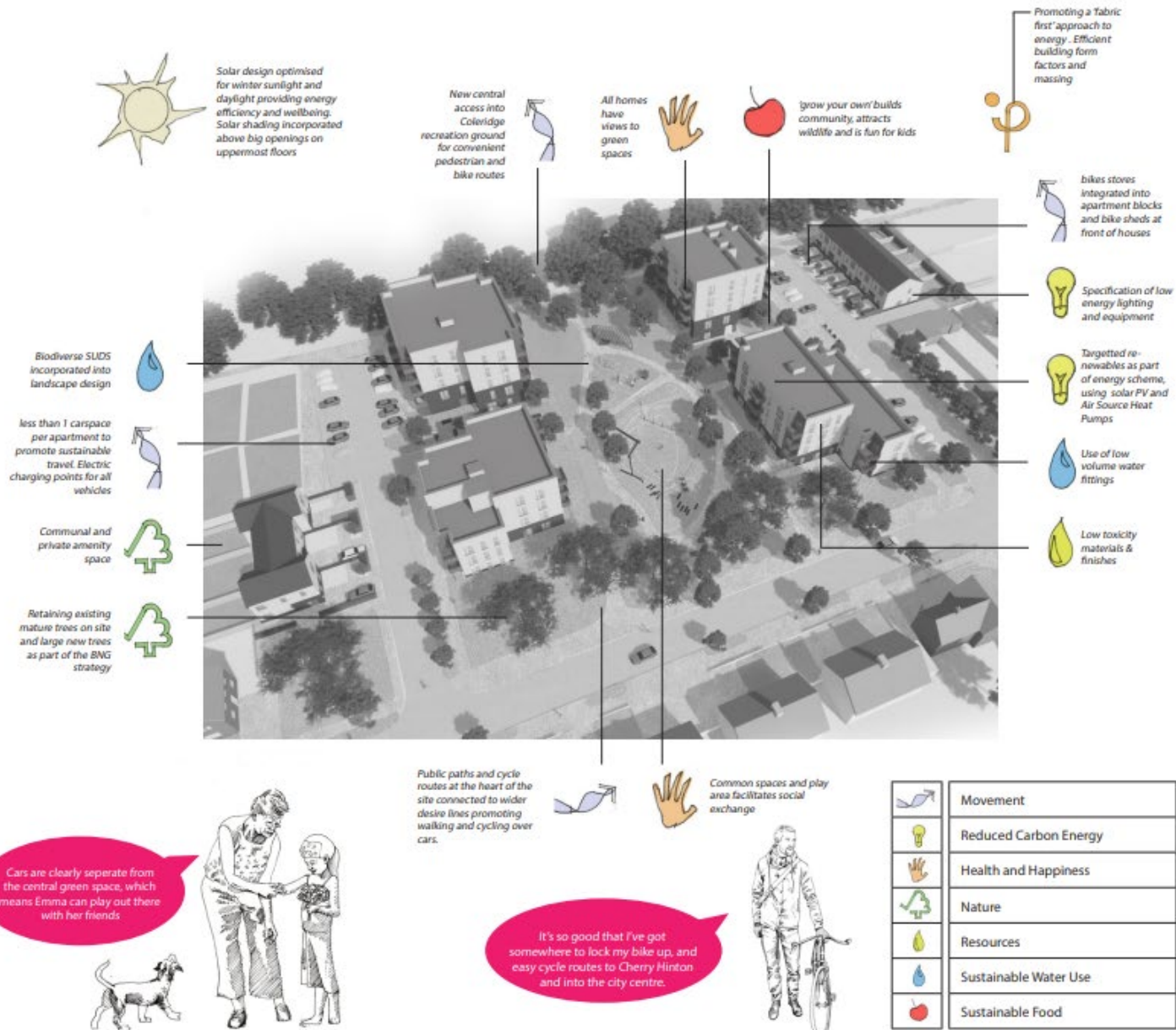
	Total	%
Single Aspect	13	15.5
Dual Aspect	49	58.3
Enhanced Dual Aspect	4	4.8
Triple Aspect	18	21.4
Total	84	100

Technical Detail

6.3 Sustainability

The proposed development encourages residents to lead more sustainable lives and has also integrated measures designed to reduce energy demand. Targets from the Cambridge Sustainable Housing Design Guide 2021 have informed the sustainable approach for the scheme.

- Affordable homes designed using PassivHaus principles.
- Fabric first approach to the scheme. Affordable homes heated by compact units and air source heat pumps.
- No natural gas supply, fully electric scheme.
- Ventilation strategy provides secure ventilation through louvered windows at ground level.
- Solar shading to top floor openings & balcony overhangs provide shading to glazed doors.
- Green roofs on apartment buildings will assist with rainwater attenuation and the biodiversity.
- Cycle parking has been given priority over car parking.
- Underground bins provided which require less pick-ups reducing the carbon footprint.
- Less than 1 car space per apartment to promote sustainable travel. Car parking bays located away from the centre of the site to promote bike and pedestrian travel. All carspaces have EV charging.
- Lower water consumption targeting 99 litres per person per day.
- A SUDS strategy has been integrated into the landscape design.
- Medium and mature tree types have been selected to provide varied trees to the new green space. Site layout aims to maximise existing tree retention.
- Food growing areas will be provided to new residents in raised beds and an area of wildlife planting will be integrated into the landscape design.
- Targeting +20% biodiversity net gain on the site.
- Durable, attractive external materials have been specified to ensure the buildings age gracefully with minimal maintenance requirement.



	Movement
	Reduced Carbon Energy
	Health and Happiness
	Nature
	Resources
	Sustainable Water Use
	Sustainable Food

6.5 Private Amenity Space

Apartment balcony sizes meet the following areas :

1bed 2 person apartments - 5m² balcony

2bed 4 person apartments - 7m² balcony

3bed 5 person apartments - 8m² balcony

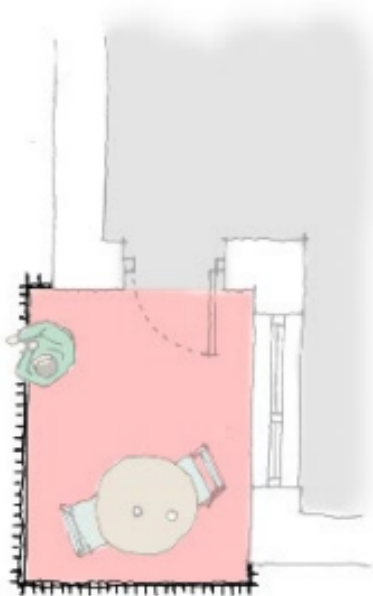
These provides amenity space for dining table and or seating on balconies.

Ground floor apartment gardens are appropriately sized for the number of occupants in apartments. Refer to the landscape design plan for reference.

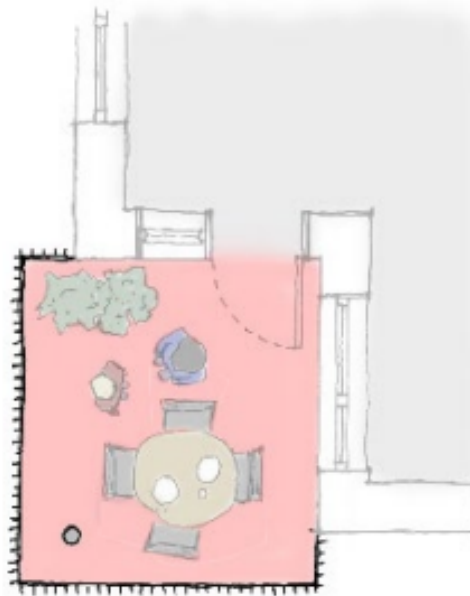
House amenity spaces

Each house has external amenity space to the front and rear of the house. Each front garden is provided with a tree and storage. Each house also has one on plot car parking space with ev charge point for the vehicle.

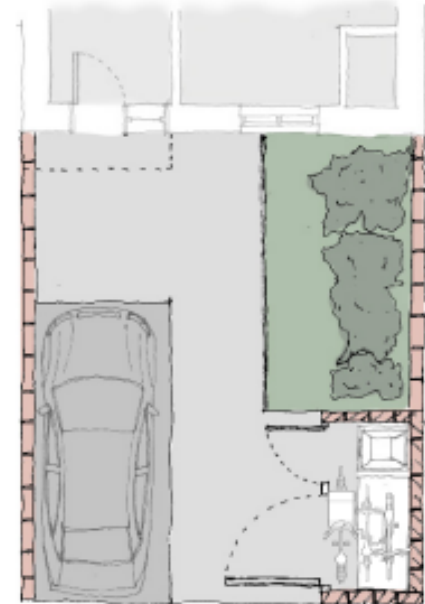
Rear gardens length are typically 8 metres long on E3 and 18metres long for W3 plus lane access to the rear of the gardens.



Example of 5m² Balcony



Example of 8m² Balcony



Example of private amenity space outside houses

TENURE	BUILDING	1B2P	2B4P	3B5P	TOTAL
AFFORDABLE	W1	19	5	4	28
MARKET	W2	1	13		14
MARKET	W3			3	3
MARKET	E1	1	16		17
AFFORDABLE	E2	4	8	5	17
MARKET	E3			5	5
TOTAL		25	42	17	84
OVERALL SPLIT		30%	50%	20%	
Affordable Split		23	13	9	45
		51%	29%	20%	
Market Split		2	29	8	39
		5%	74%	21%	

SUMMARY AREA SCHEDULE			
Type	m2 Size (NPPF)	Market	Affordable Units No.
1B2P	50	2	23
2B4P	70	29	13
3B5P (APARTMENT)	86	0	9
3B5P (HOUSES)	97	8	0
Total		39	45
Total Affd M4 (3)	4 (2.25 required)		
Total Bike Spaces Req.	160		
Total Car Spaces Req.	50.5		
Total GIA (m2)	3744.4		
Total Dual aspect	85%		

Design Proposal

4.3 Street View - Fanshawe Road looking west



VP16

Fanshawe Rd



VP16, Before

VP16

Fanshawe Rd



VP16. Full Colour

VP15

Sterne
Close



VP15. Before



VP15

Sterne
Close



VP15. Full Colour

VP14

Bancroft
Close



VP14. Before

VP14

Bancroft
Close



VP14, Full Colour

VP05

Coleridge
Recreation
Ground



VP05. Before

VP05

Coleridge
Recreation
Ground



VP05. Full Colour

23/03653/S73- Aylesborough Close

Section 73 to vary condition 2 (approved drawings) to amend the approved refuse strategy of ref: 22/01995/FUL.



Blocks A and C - Ground Floor Plan



Blocks A and C - First Floor Plan



Key Plan



Block A - Proposed North Elevation



Block C - Proposed South Elevation



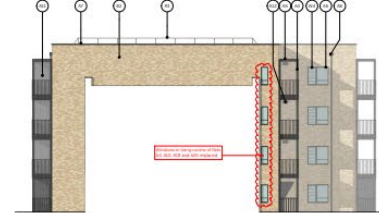
Block C - Proposed North Elevation



Block C - Proposed East Elevation



Block A - Proposed East Elevation



Block A - Proposed South Elevation



Block A - Proposed West Elevation

Block C - Proposed West Elevation

Materials Key

- Brick
- Light-colored panels
- Dark-colored panels
- Glass
- Metal
- Concrete
- Wood
- Stone
- Slate
- Asphalt
- Grass
- Paved
- Water

Block Schedule

Block	Height	Material	Notes
Block A	4 stories	Brick, Light-colored panels	
Block B	4 stories	Brick, Light-colored panels	
Block C	4 stories	Brick, Light-colored panels	

Cambridge Investment Partners

100 Cambridge Center
Cambridge, MA 02142
617.452.3300
www.cambridgepartners.com

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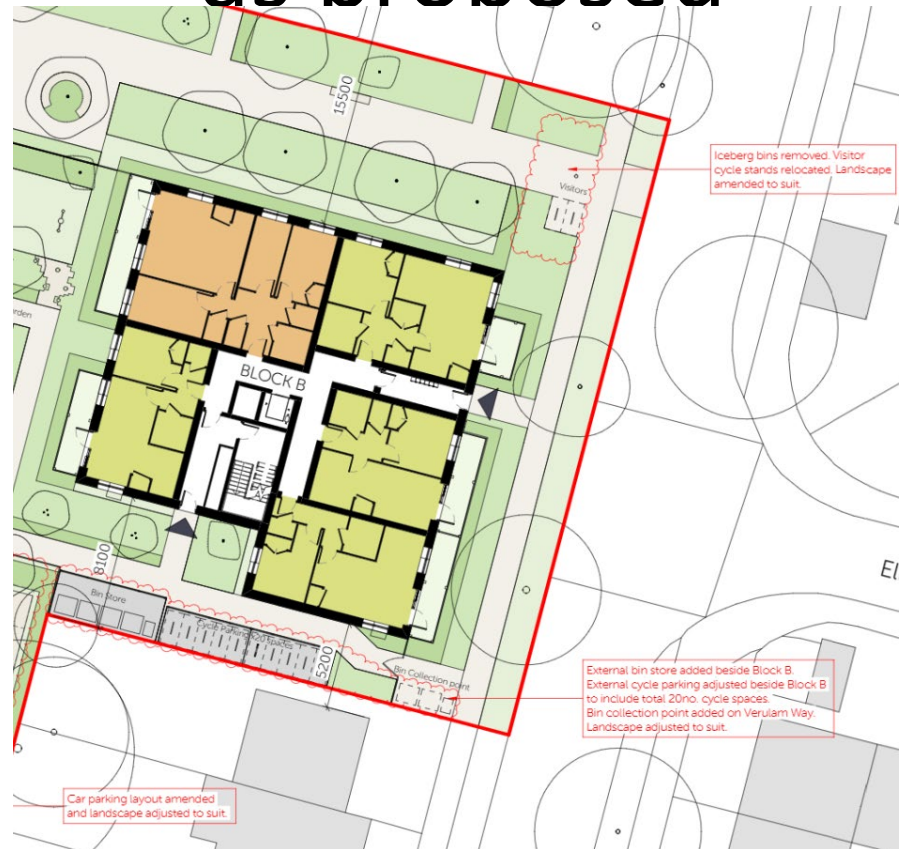
100 Cambridge Center
Cambridge, MA 02142
617.452.3300
www.cambridgepartners.com



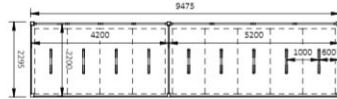
Block A & C – Bin store and cycle parking as proposed



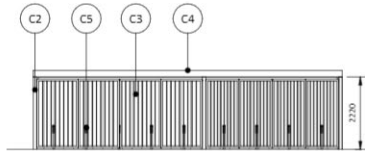
Block B – Bin store and cycle parking as proposed



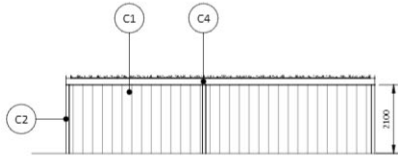
External cycle store to serve block A



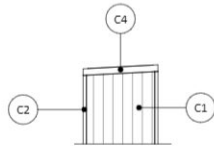
Block A Cycle Parking - Plan



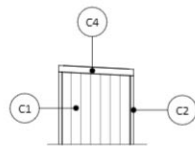
Front Elevation (West)



Rear Elevation (East)

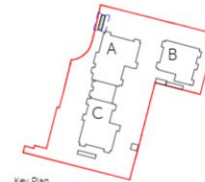


Side Elevation (North)



Side Elevation (South)

Materials Key	
Cycle Storage Unit	
C1	Timber cladding
C2	Steel frame construction
C3	Metal gates with fog entry, soft close
C4	Green roof with slight pitch
C5	Sheffield stands, fixed into the ground



Key Plan

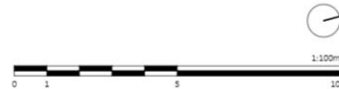
Notes:
 Do not scale. All dimensions are in millimetres unless otherwise stated.
 This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and/or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty (if/where) requirements. Report any discrepancies, if in doubt ask.

Revisions	Rev.	Status	Date	Description	Drawn	Checked
	01	ISS	12/12/23	Issue drawing to suit Section 73		ES
	02	ISS	12/12/23	Amendments. External cycle store for Block A added to provide 610c. Sheffield stands with top. 860c. cycle spaces.		ES

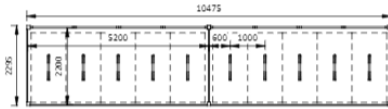
Client Name:	Cambridge Investment Partnership		
Project Name:	Aylesborough Close Phase 2		
Drawing Name:	External Cycle Parking Proposed Plans & Elevations (Block A)		
Drawing Number:	410-07119-004-00-01-010	Rev:	001
Project No:	20-283	PKA Stage:	3
Drawn By:	ES	Scale:	1:100 @ A3

PLANNING ISSUE

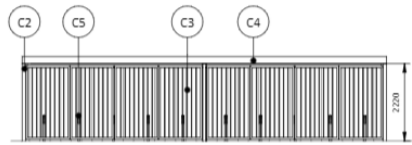
40 Norman Road,
 Greenwich, London
 SE10 9QX
 t: 020 8293 5175
 bdp@bdp.co.uk



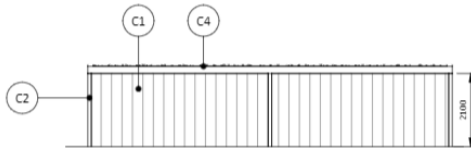
External cycle store to serve block B



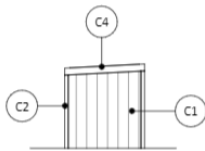
Block B Cycle Parking - Plan



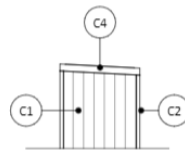
Front Elevation (North)



Rear Elevation (South)

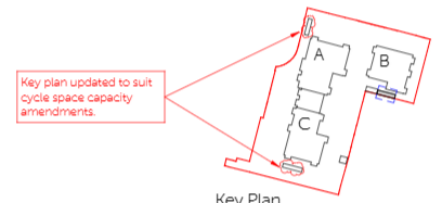


Side Elevation (East)



Side Elevation (West)

Materials Key	
Cycle Storage Unit	
C1	Timber cladding
C2	Steel frame construction
C3	Metal gates with fob entry, soft close
C4	Green roof with slight pitch
C5	Shelfield stands, fixed into the ground



Key Plan

Notes:
 Do not scale. All dimensions are in millimetres unless otherwise stated.
 This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and/or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

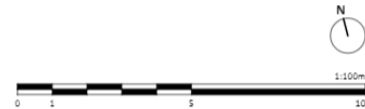
Rev	Status	Date	Description	Drn	Chkd
001	A3	13.04.23	Planning issue	JH	
002	A3	31.08.23	Section 79 Amendments. Volume of model changed to suit. Capacity of cycle store amended. Key plan amended.	ES	
003	A3	08.11.23	Section 79 Amendments. Double-stacked cycle spaces removed from internal cycle store and replaced with Sheffield stands. Key plan amended.	ES	

Client Name:		Cambridge Investment Partnership	
Project Name:		Aylesborough Close Phase 2	
Drawing Name:		External Cycle Parking Proposed Plans & Elevations (Block B)	
Drawing Number:	AYC-8PT31-05A-XX-DR-A-1007	Rev:	C03
Project No:	20-283	Rev:	A3
Rev:	3	Scale:	1:100 @ A3

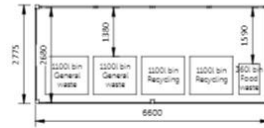
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40 Norman Road,
 Greenwich, London
 SE10 9QX

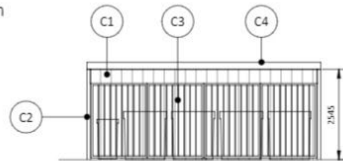
t. 020 8293 5175
 bptw.co.uk



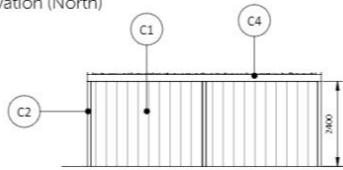
External refuse store to serve block B



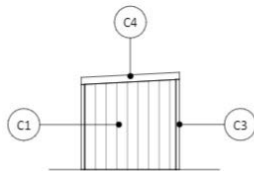
Floor Plan



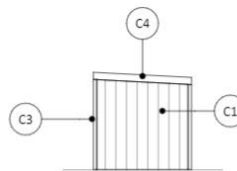
Front Elevation (North)



Rear Elevation (South)



Side Elevation (East)

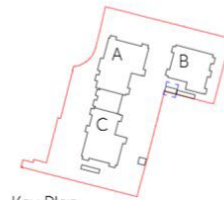


Side Elevation (West)

Materials Key

Bin Store

- C1 - Timber cladding
- C2 - Steel frame construction
- C3 - Metal gates with fob entry, soft close
- C4 - Green roof with slight pitch



Key Plan

Notes:
Do not scale. All dimensions are in millimetres unless otherwise stated.
This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and/or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

Rev.	Status	Date	Description	Dim.	Chkd.
001	AS	31.08.13	New drawing for section 73 amendments.	ES	

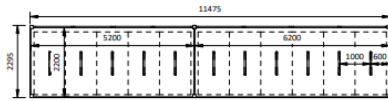
Client Name: Cambridge Investment Partnership					
Project Name: Aylesborough Close Phase 2					
Drawing Name: External Bin Store - Proposed Plans and Elevations					
Drawing Number: A/C-BPTW-504-XX-DR-A-1009	Rev:	C03	Status:	AS	
Project No: 20-283	RIBA Stage:	3	Drawn By:	ES	Scale: 1:100 @ A3

PLANNING ISSUE

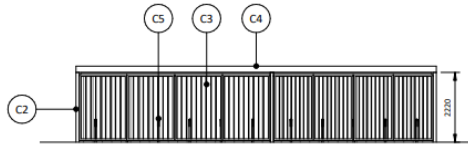
40 Norman Road,
Greenwich, London
SE10 9QX



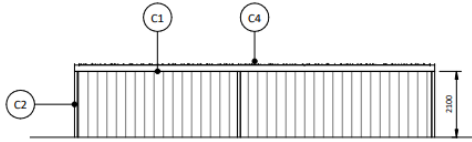
External cycle store to serve block C



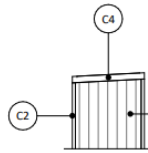
Block C Cycle Parking - Plan



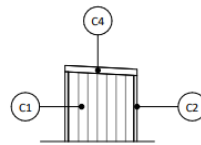
Front Elevation (North)



Rear Elevation (South)

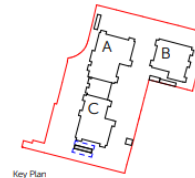


Side Elevation (East)



Side Elevation (West)

Materials Key	
Cycle Storage Unit	
C1	Timber cladding
C2	Steel frame construction
C3	Metal gates with lobb entry, soft close
C4	Green roof with slight pitch
C5	Shelfed stands, fixed into the ground



Key Plan

Notes:
Do not scale. All dimensions are in millimetres unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and/or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty/insurer requirements. Report any discrepancies, if in doubt ask.

Rev.	Status	Date	Description	Drawn	Checked
001	A3	08.12.23	New drawing to suit Section 73 amendments. External cycle store for Block C added to provide 11no. specified stands with total 22no. cycle spaces.		ES

Client Name: Cambridge Investment Partnership

Project Name: Aylesborough Close Phase 2

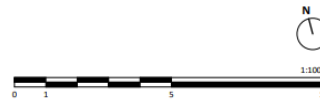
Drawing Name: External Cycle Parking Proposed Plans & Elevations (Block C)

Drawing Number: ANC-BPTW-S04-XX-08-A-1011 Rev: C01 Status: A3

Project No: 20-283 BSA Stage: 3 Drawn By: ES Scale: 1:100 @ A3

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t: 020 8263 5275
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23/03519/FUL

Tyndale House

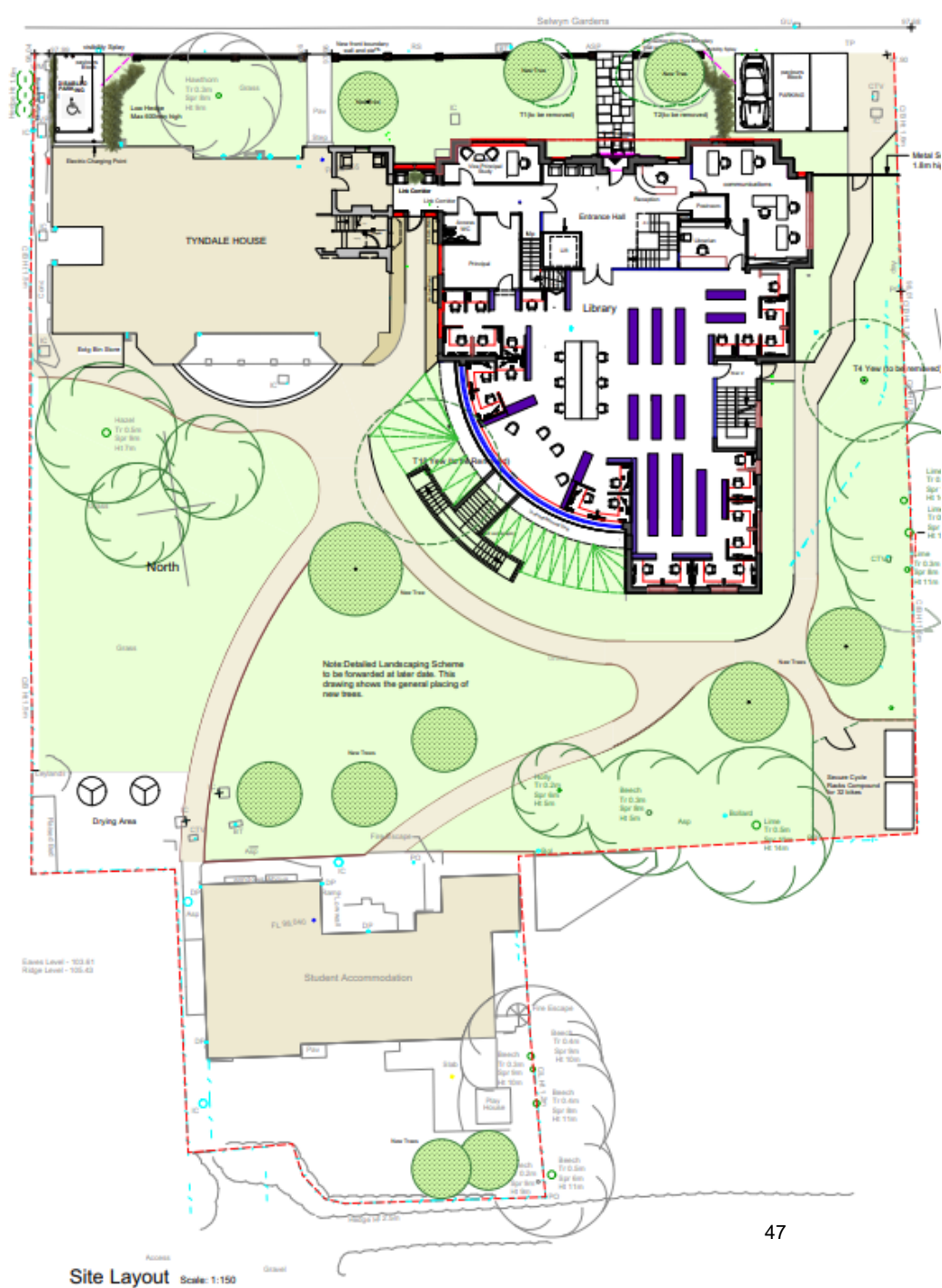
Site Location Plan







Proposed Site Plan



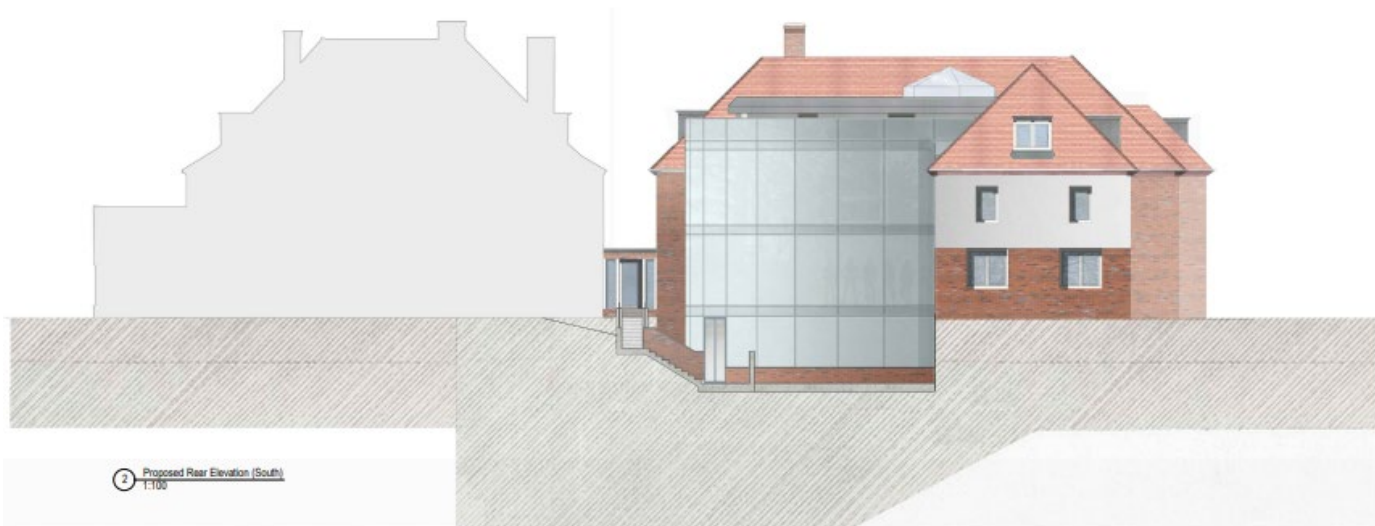
Proposed Street Scene



Proposed Front (North) and Rear (South) Elevations



① Proposed Front Elevation (North)
1:100



② Proposed Rear Elevation (South)
1:100

Proposed Side (West and East) Elevations

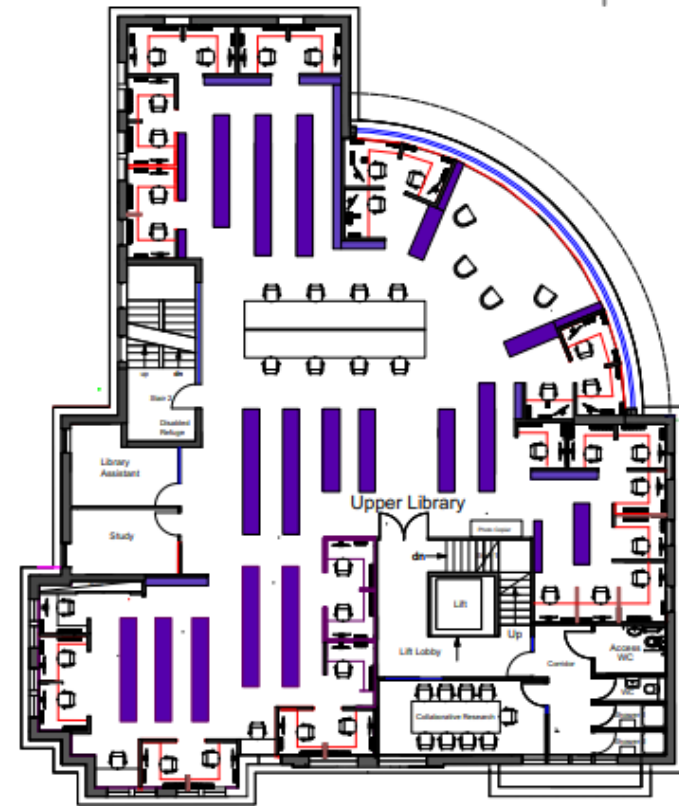


Proposed Ground and First Floor Plans

Revisions
 A. Reposition of
 B. Plan title area



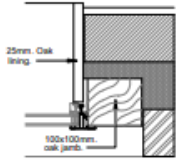
Ground Floor Plan



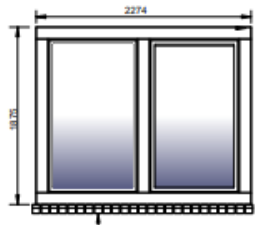
First Floor Plan



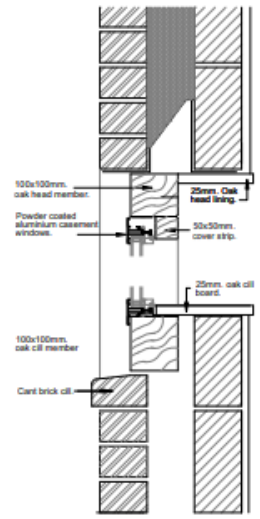
Revisions	Date:



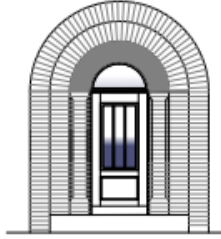
DETAIL AT JAMB.
SCALE 1:5



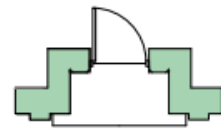
TYPICAL ELEVATION OF CASEMENT WINDOW
SCALE 1:20



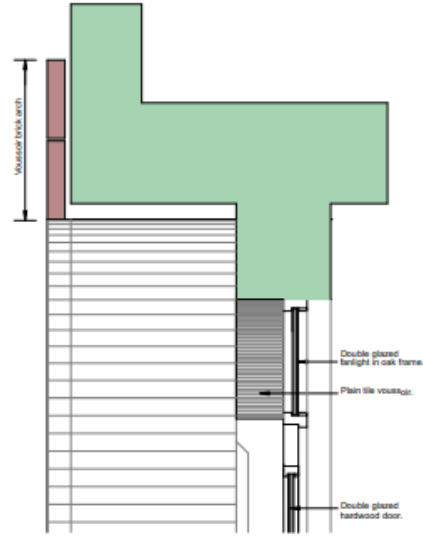
1:5



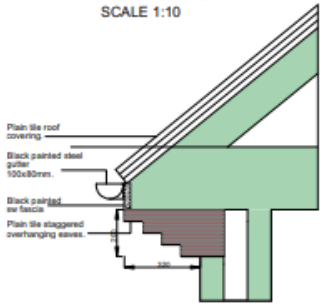
MAIN ENTRANCE ELEVATION
SCALE 1:20



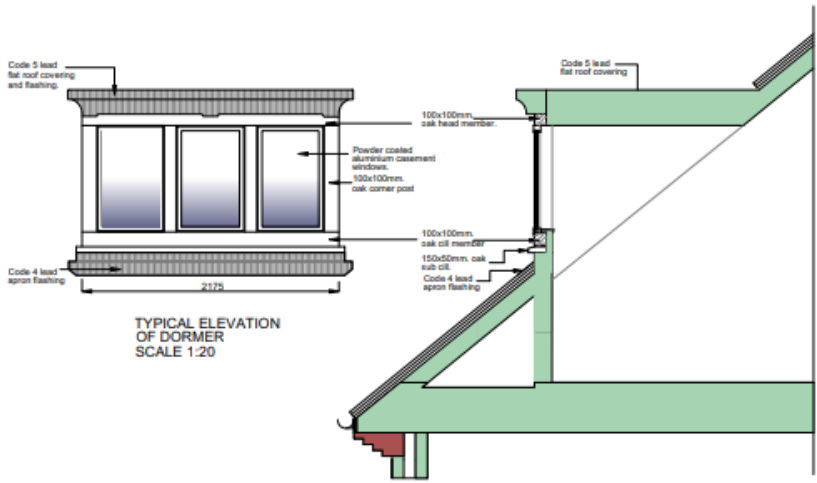
MAIN ENTRANCE PLAN
SCALE 1:20



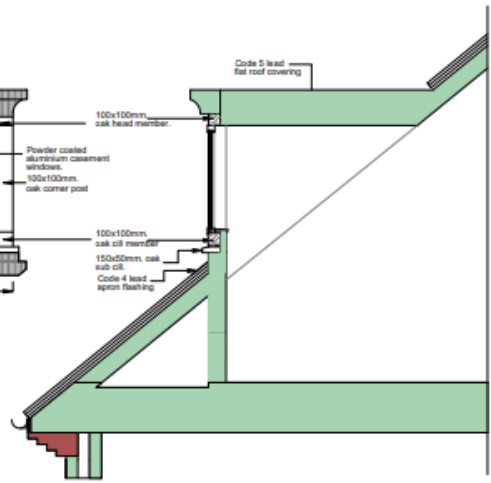
SECTION THROUGH MAIN ENTRANCE
SCALE 1:10



TYPICAL SECTION THROUGH TUBULAR EAVES



TYPICAL ELEVATION OF DORMER
SCALE 1:20



TYPICAL SECTION THROUGH DORMER
SCALE 1:20



Scale Bar 1:100 @ A1

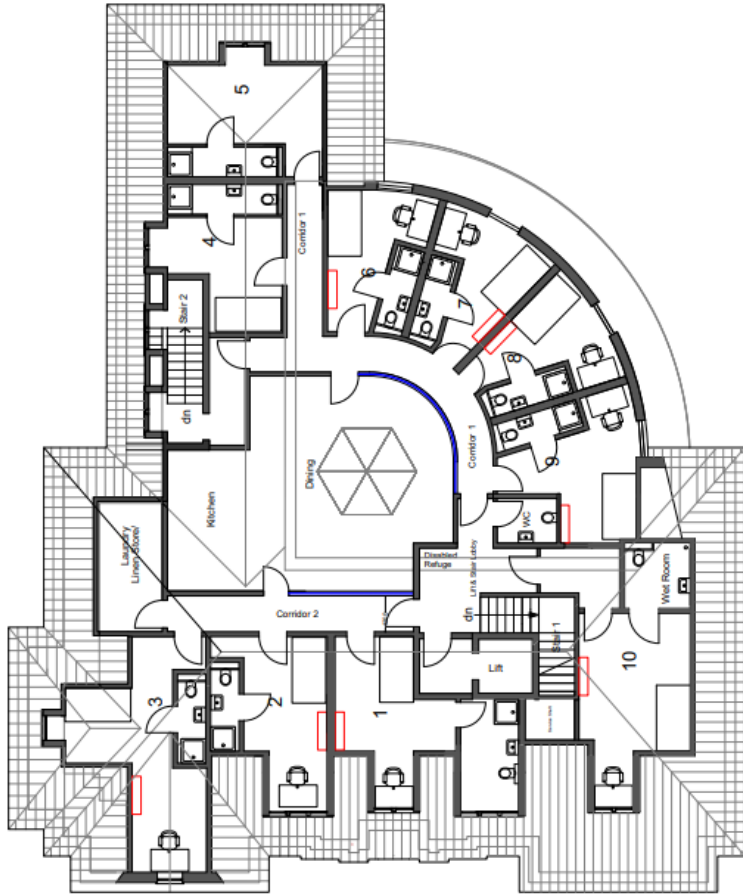
Tyndale House
36 Selwyn Gardens
Cambridge
CB3 9BA

Date: April 2023 Scale: Various Drawn: TP
Drawing Number: **Th 201 72** Project Title:

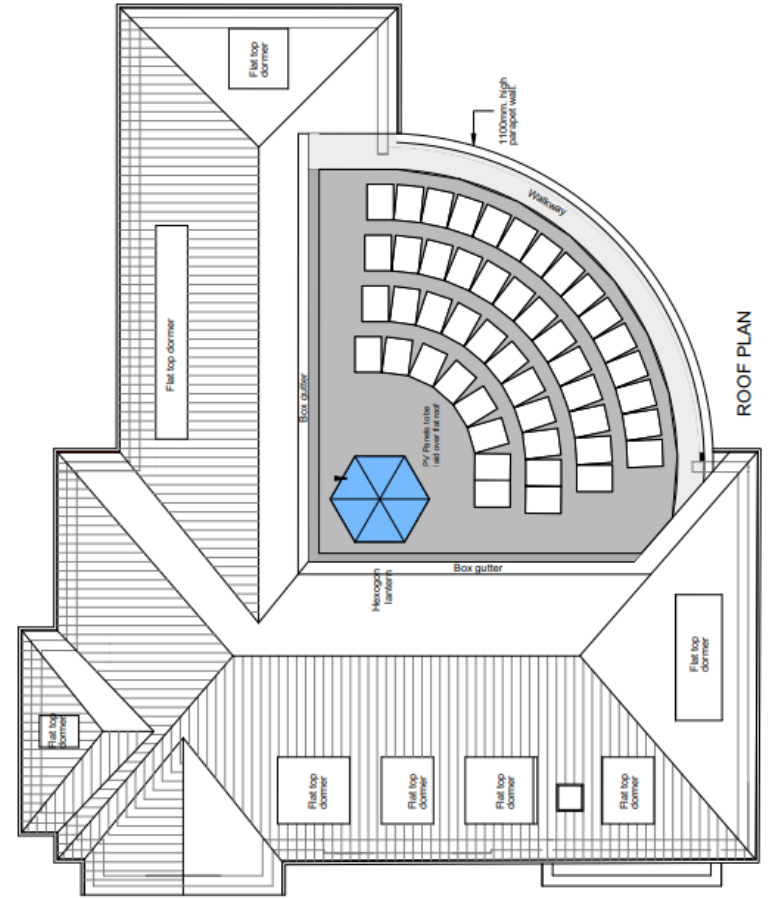
DETAILS
Dormer Window
Eaves
Drawing Title: **Main Entrance Casement Window**

PW
Architectural Drawing/Design Services

14, Bounland Close
Bradley Stoke



Second Floor Plan



Roof Plan





North Elevation on Selwyn Gardens



Proposed South West Elevation of New Library for Tyndale House 36, Selwyn Gardens Cambridge

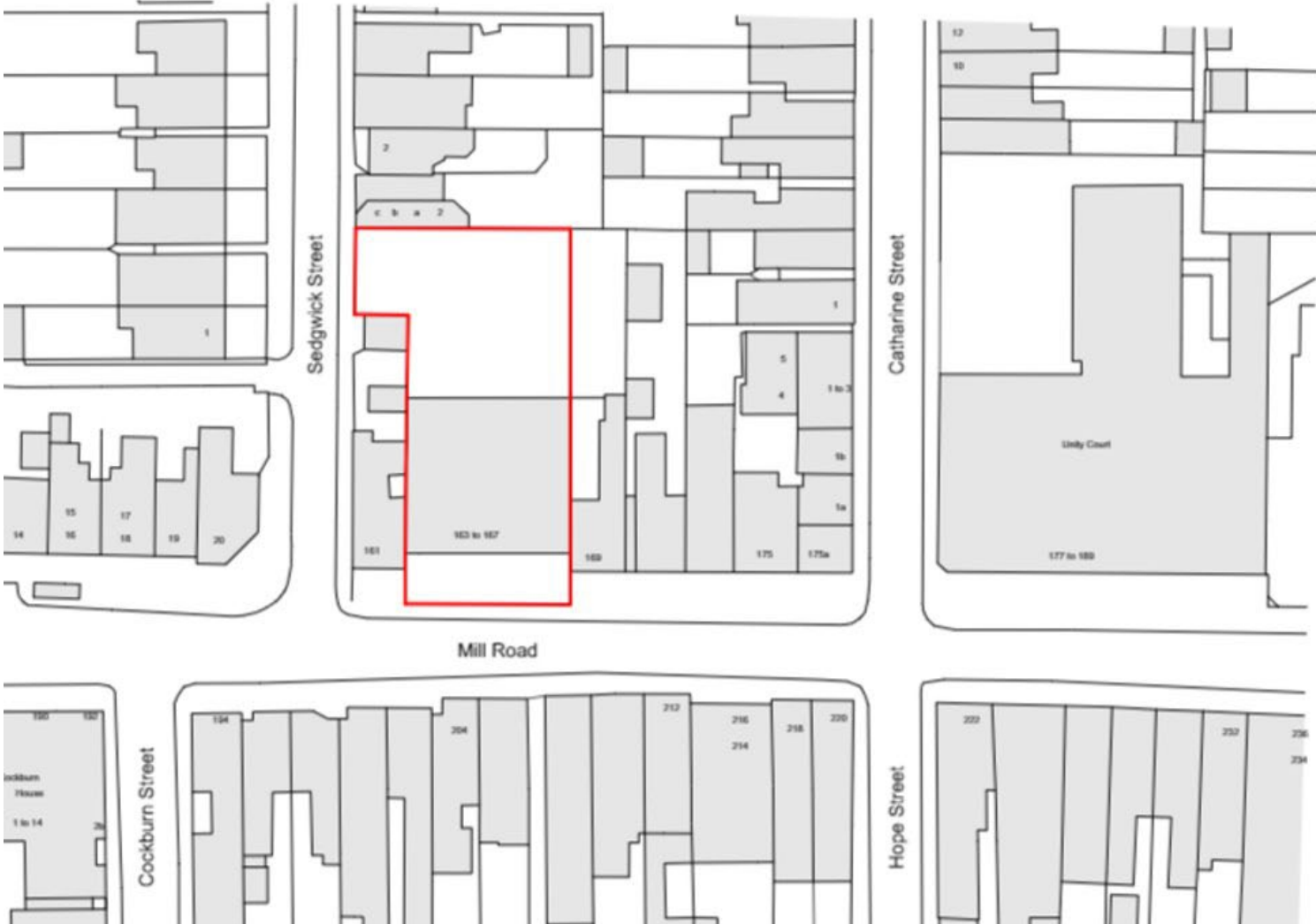
Minor Applications

23/03068/FUL

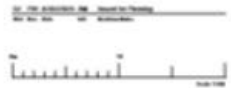
163 – 167 Mill Road

Refurbishment of the building including internal slab openings with steel framing, roof replacement, new plant, substation, external alterations and temporary removal of shopfront to facilitate MRI installation (first phase).

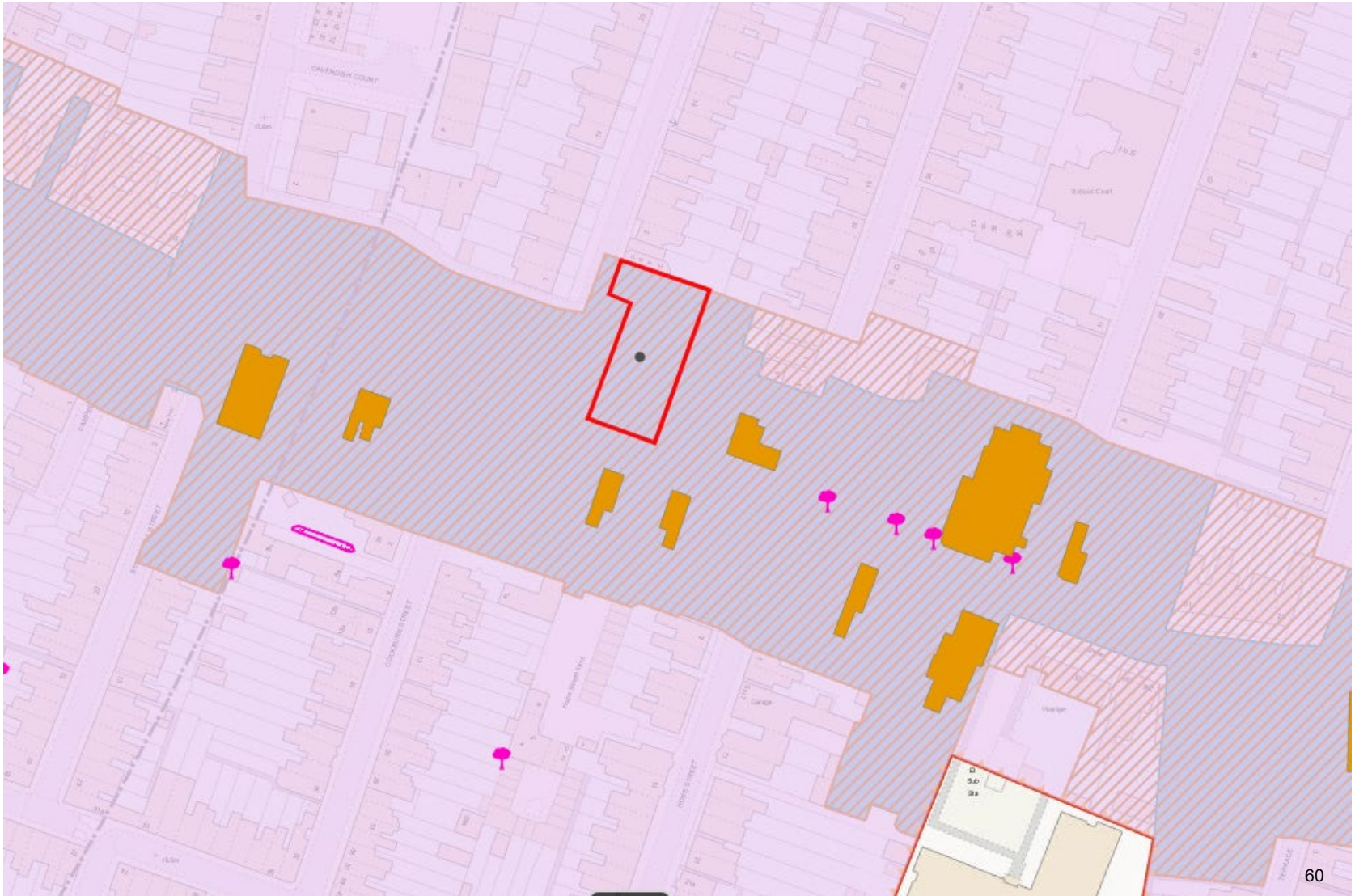
Location Plan



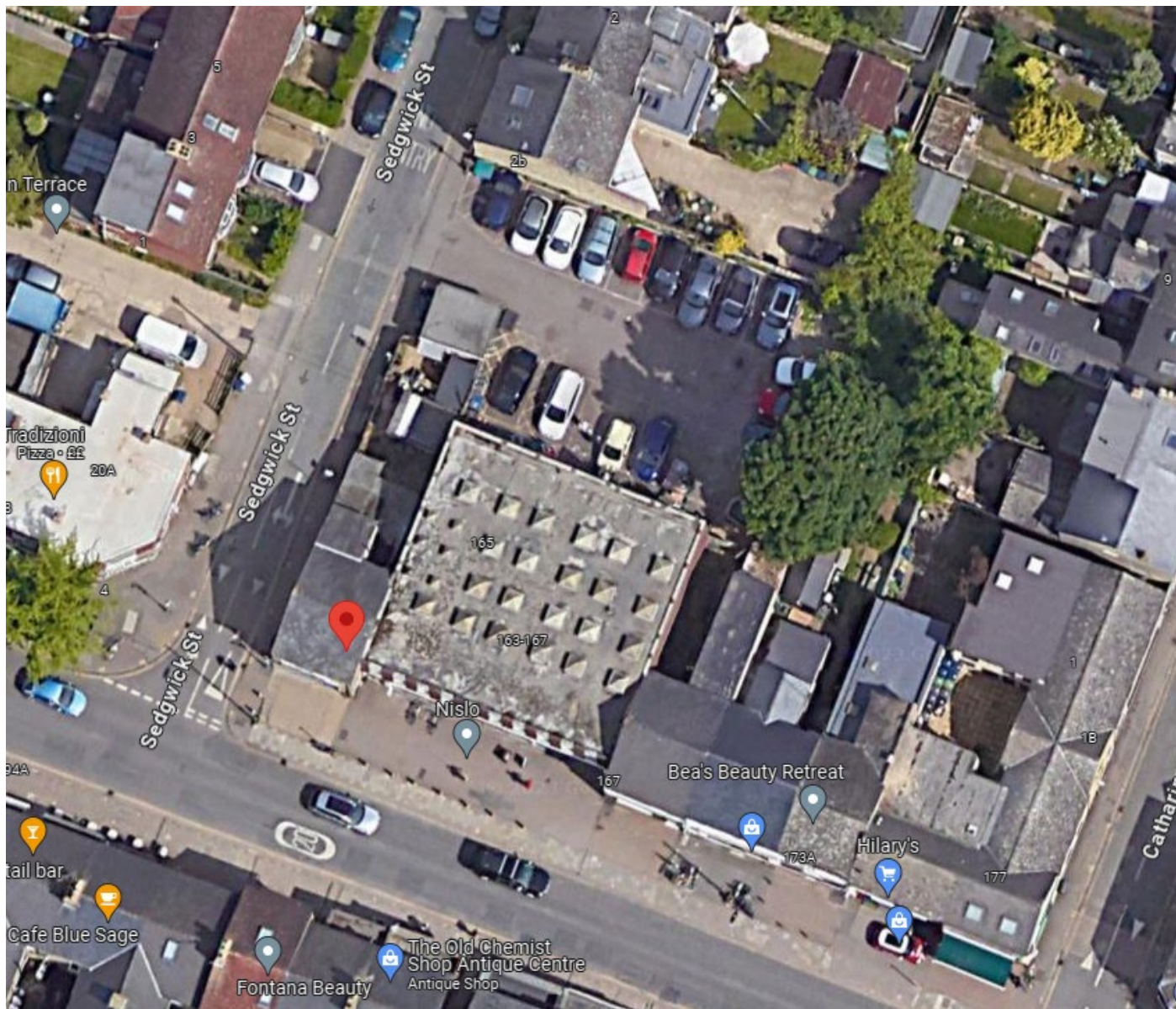
Do not scale from this drawing for construction purposes



Site Constraints Map



Aerial View



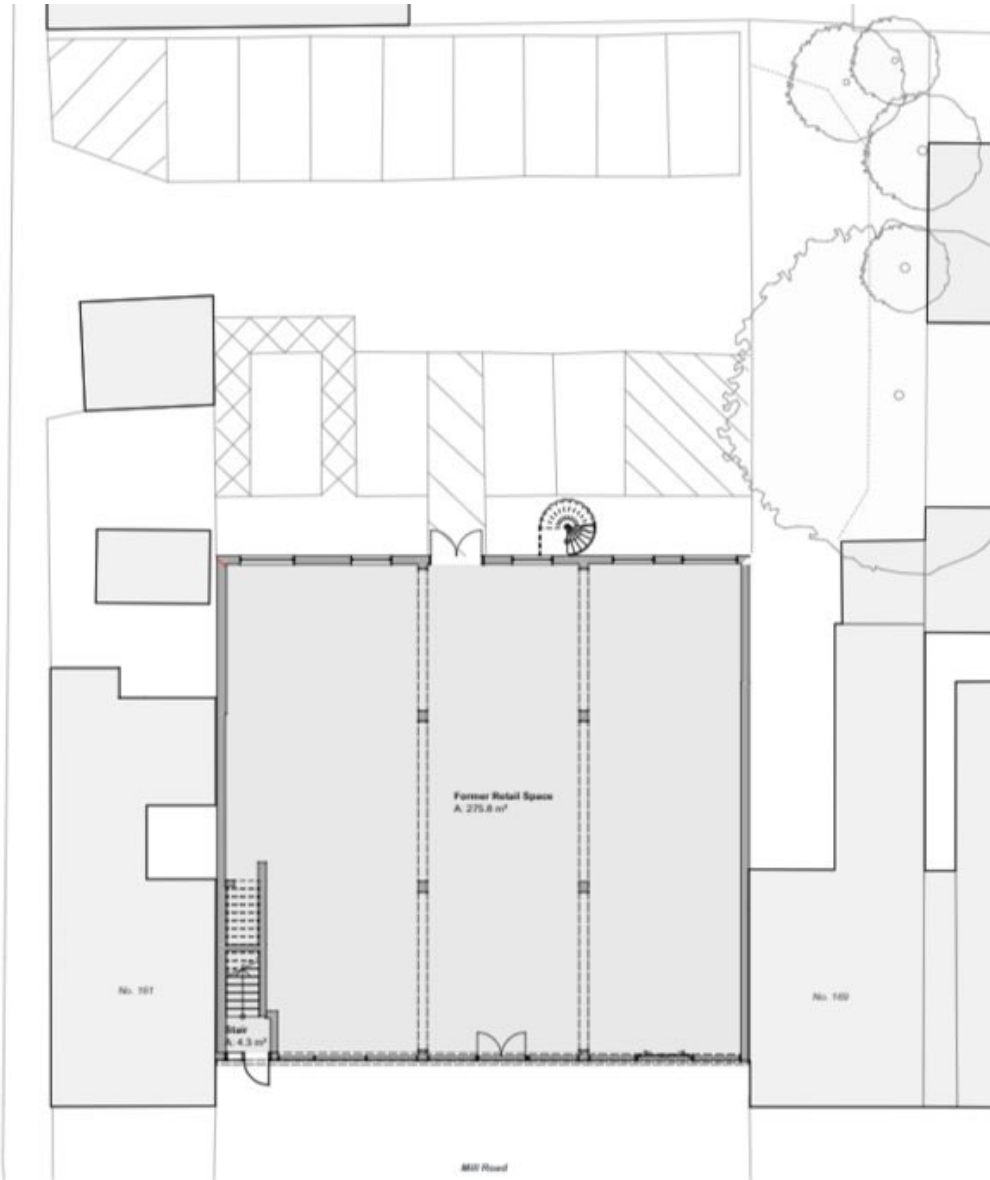
3D Aerial View - Rear



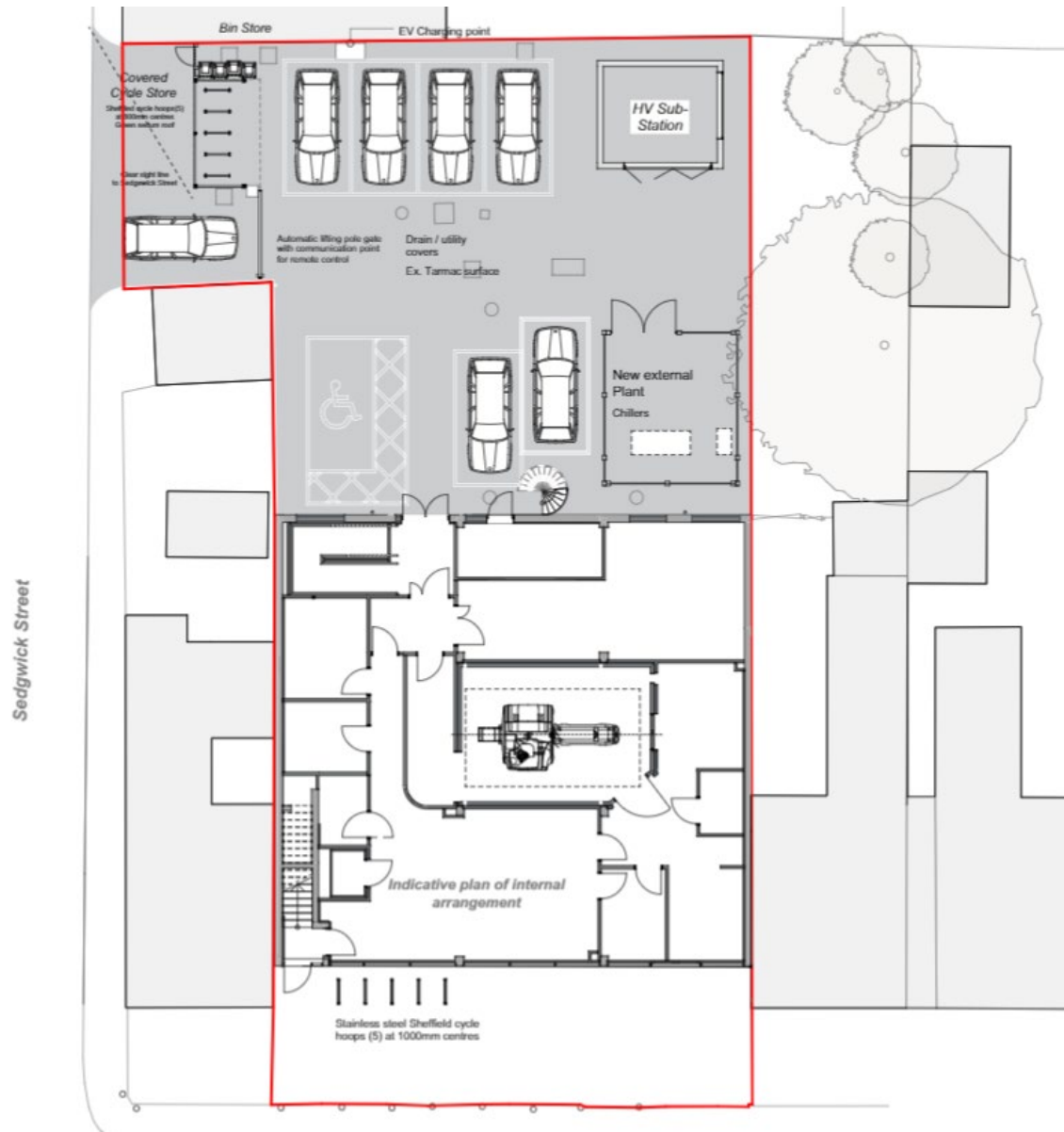
Planning History

Reference	Description	Outcome
21/03622/PRI030	Prior approval for change of use from offices (Class B1 (a)) to 4 No. dwellinghouses (Class C3)	Prior Approval Given
14/0963/ADV	Rebranding of Tesco Express retail unit: 2 No. fascia, 1 projecting sign and 10 other signs	Permitted
08/0099/FUL	Erection of single storey rear extension and installation of plant.	Refused – Appeal Dismissed

Existing Site and Ground Floor Plan

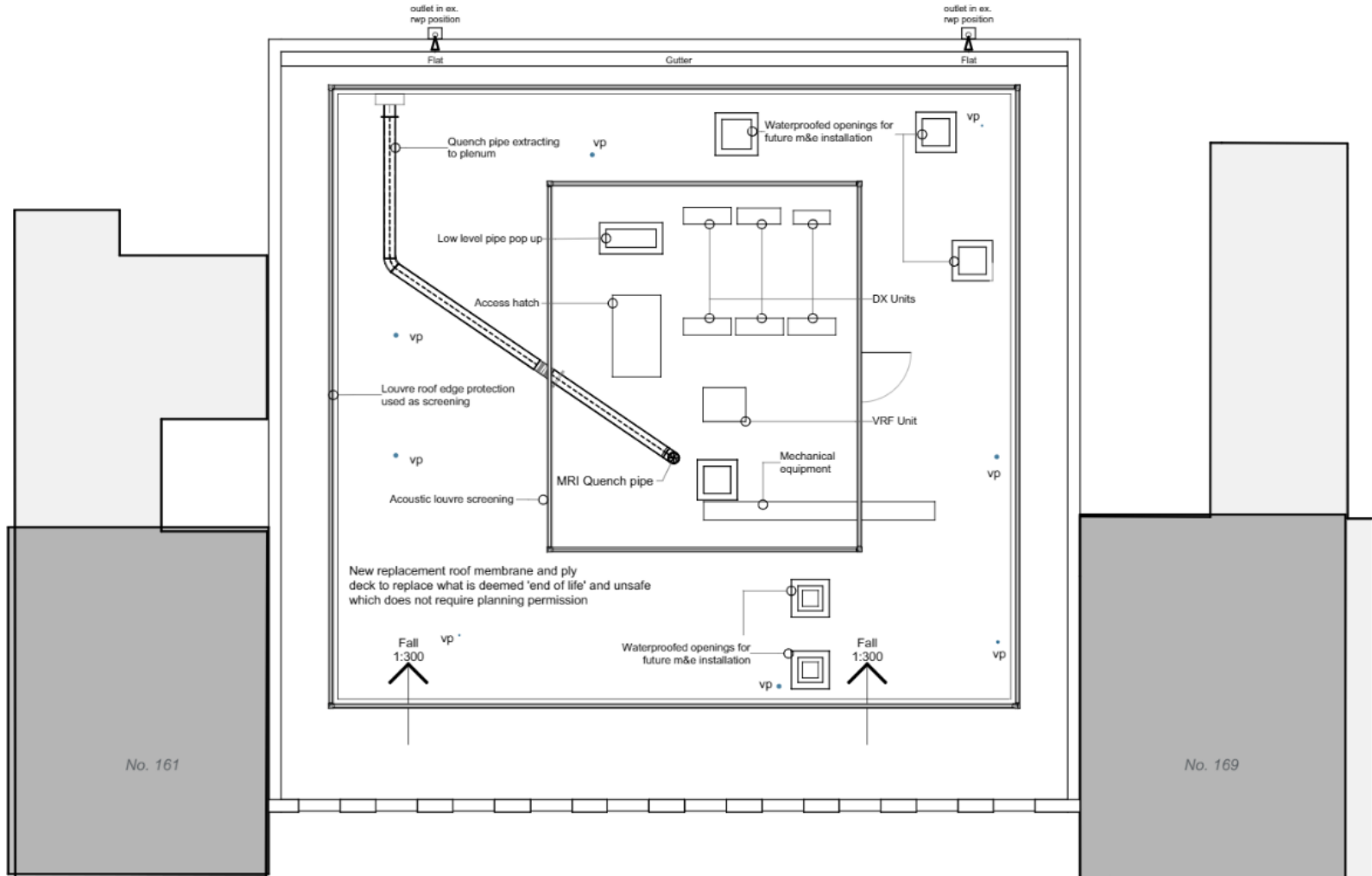


Proposed Site and Ground Floor Plan



Proposed Roof Plan

Sedgwick Street

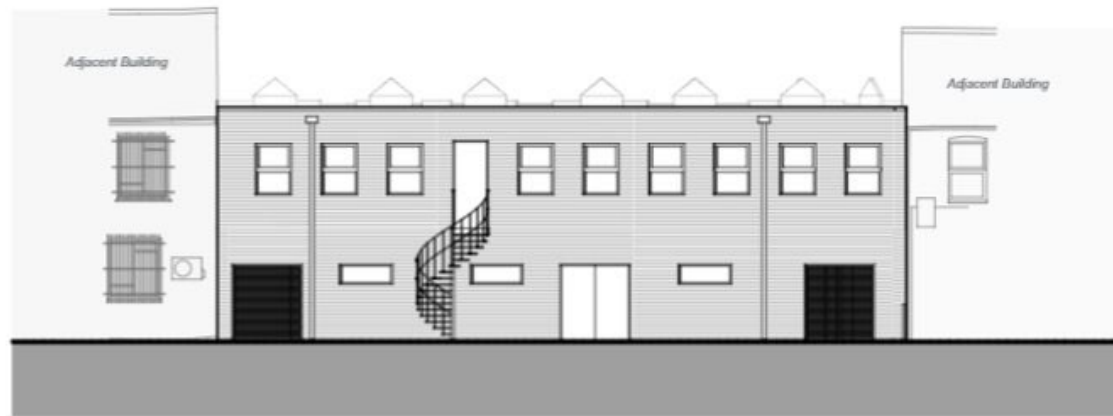


Existing Front and Rear Elevations



E-01 Front Elevation

1:100



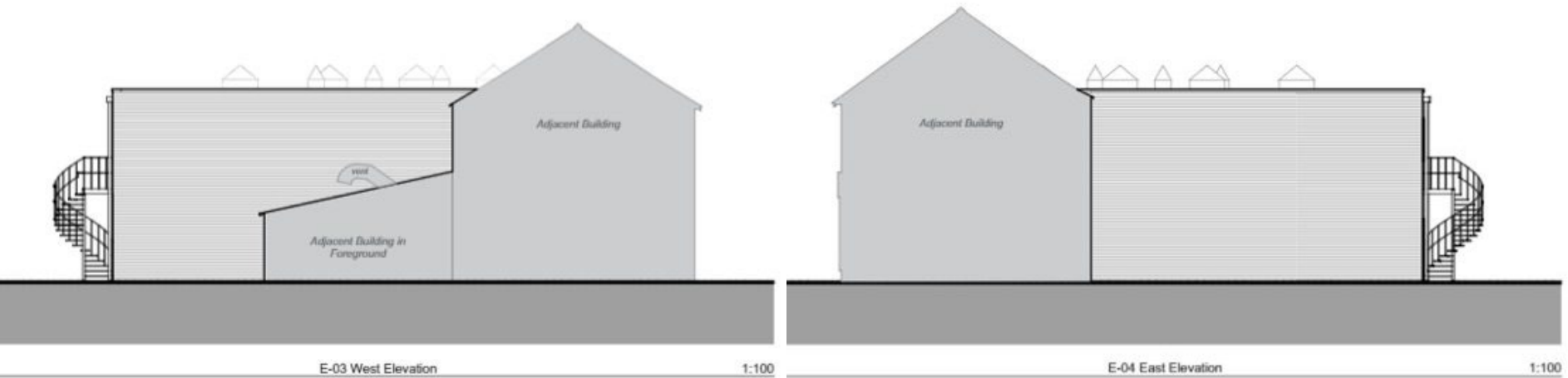
E-02 Rear Elevation

1:100

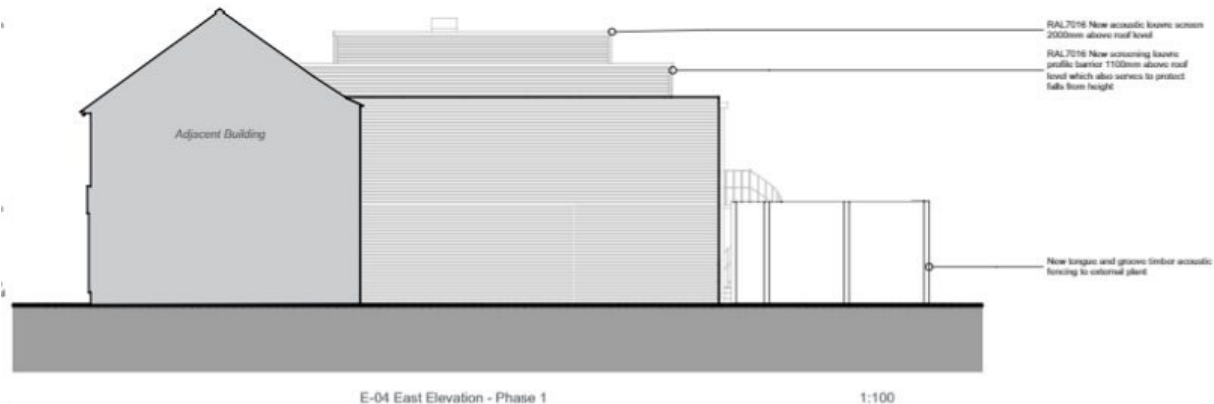
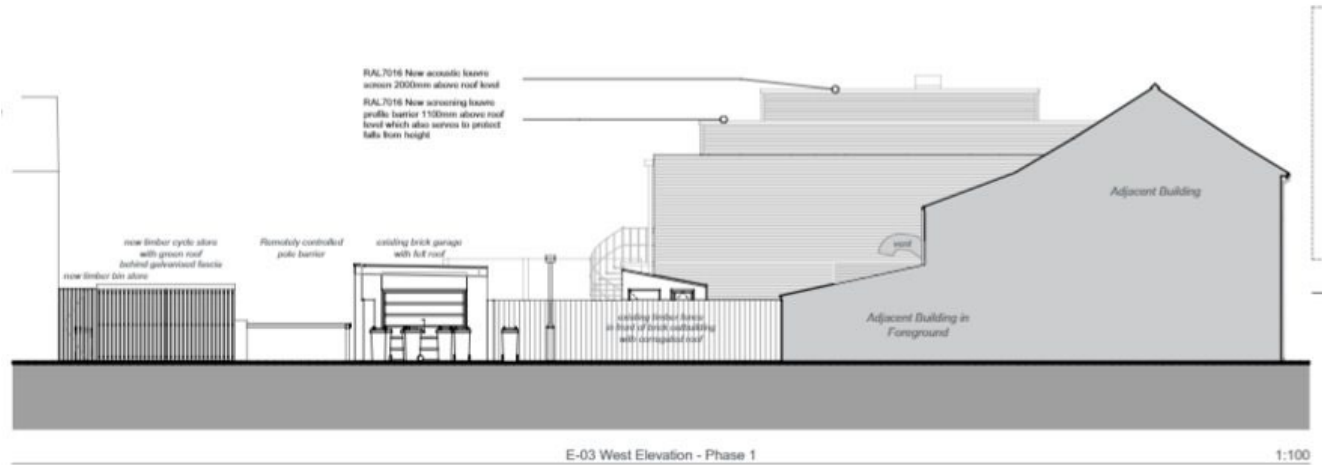
Proposed Front and Rear Elevations



Existing Side Elevations



Proposed Side Elevations



Proposed Sections



Streetview Images



Google



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Google

Representations

Objections received regarding:

- Use of site
- Impact on character of the area
- Residential Amenity Impact
- Noise impact
- Plant Impact
- MRI being safe in residential area
- No improvement to Landscape/Biodiversity
- Should be a green roof
- Construction Impacts
- Highways/Traffic implications
- Cycle provision

Cllr Baigent objecting relating to:

- Structural Changes to Building
- Residential Amenity impact as a result from plant.
- Petition also received objection to the use of the building as an MRI clinic.

Consultee Comments

No Objections

- Conservation Officer
- Local Highways Authority
- Environmental Health
- Sustainability Officer
- Sustainable Drainage Officer

Change of use – clarification

- The application is not seeking a change of use. The Town and Country Planning (Use Classes) (Amendment)(England) Regulations 2020

Shops		
Supermarkets		
Post Offices		
Travel Agencies		
Sandwich Bars		
Hairdressers/Barbers		
Funeral Directors/ Undertakers	A1	
Retail Warehouses (Argos etc.)		Use Class E
Domestic Hire Shops		Commercial, Business and Service
Dry Cleaners		
Locations to receive items for cleaning or repair		
Internet Cafés		
Banks and Building Societies		
Estate Agents or Employment Agencies	A2	
Restaurants		
Cafés	A3	
Offices	B1(a)	Use Class E
Research and Development of products and processes	B1(b)	Commercial, Business and Service
Light Industrial appropriate in a residential area	B1(c)	
Doctors, Clinics and Health Centres, Acupuncture Clinics etc. (except where linked to the residence of the practitioner)	D1	Use Class E
Crèches, Day Nurseries or Day Centres		Commercial, Business and Service